



Jefferson County Board of County Commissioners

Thursday, December 16, 2021 at 6:00 pm

REGULAR SESSION AGENDA

Courthouse Annex, 435 W. Walnut Street, Monticello, FL 32344

- 1. 6 PM CALL TO ORDER, INVOCATION, PLEDGE OF ALLEGIANCE**
- 2. PUBLIC ANNOUNCEMENTS, PRESENTATIONS & AWARDS**
 - a. Formal Audit Presentation
- 3. CONSENT AGENDA**
 - a. General Fund Vouchers: Dec. 2, 2021 & Dec. 16, 2021
 - b. Transportation Fund Vouchers: Dec. 2, 2021 & Dec. 16, 2021
 - c. Private Land Sale, Waukeenah Hwy

Attachments:

- **WaukeenahHwy** (WaukeenahHwy-01052015064032.pdf)

4. GENERAL BUSINESS

- a. **Special Exception, Major Development Application: Large Scale Photovoltaic Collector System Aucilla/Drifton Hwy: S. Metty/ S. Shirley**

Attachments:

- **Application** (Combined_Application-Narrative.pdf)
- **Owner Authorization** (Drifton_-_Owner_s_Consent_Form.pdf)
- **Site Plans** (Drifton_-_Plan_Set.pdf)
- **Boundary Survey** (Survey.pdf)
- **Stormwater Study** (2021.11.04_Driften_PV1_Stomwater_Methodology_Memo.pdf)
- **Decommissioning** (Drifton_-_Decommissing_Plan.pdf)
- **Additional Documents** (Drifton_-_Additional_Reports.pdf)
- **Cultural Desktop Report** (Drifton_Jefferson_County_FL_Cultural_Desktop_Report_9June2020.pdf)
- **Memo to Planning Commission** (PlanningMemoS-12182014220820.pdf)

- b. **Non Ad-Valorem Special Assessment Resolution of Intent: S. Shirley**

Attachments:

- **Resolution** (ROI_with_Legal_Descriptions_for_12-16-2021__2_.docx)

- c. **Noise Ordinance Workshop Date: Comm. Barfield/S. Shirley**
- d. **Aucilla Shores Update: Comm. Tuten/P. Barwick**
- e. **Limited Scope Audit: Comm. Barfield/ P. Barwick**

f. Financial System New Software Update: Comm. Barfield/ K. Reams

g. Surplus Property: Moody Rd., N Forest Ct.: S. Metty/ S. Shirley

Attachments:

- **Surplus** (SurplusProp-01052015064136.pdf)

5. Citizens Request & Input on Non-Agenda Items

(3 Minute Limit Please)

6. CLERK OF COURTS

7. COUNTY COORDINATOR

Boards and Committees

8. COUNTY ATTORNEY

9. COUNTY COMMISSIONER DISCUSSION ITEMS

10. ADJOURN

From the manual "Government in the Sunshine", page 40: Paragraph C. Each board, commission or agency of this state or of any political subdivision thereof shall include in the notice of any meeting or hearing, if notice of meeting or hearing is required, of such board, commission, or agency, conspicuously on such notice, the advice that if a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

PARTICIPATING IN A COUNTY COMMISSION MEETING: A CITIZEN'S GUIDE

The Jefferson County Commission is pleased to have you at our Commission meeting. We appreciate your presence, welcome your participation, and want your visit to be interesting and informative. The following is a brief summary of the Commission's Meeting Rules of Procedure that apply to citizen participation.

See the meeting agenda so that you can follow each item of business the Commission will be discussing.

SPEAKING BEFORE THE COMMISSION: WHEN CAN I TALK?

If you want to address the Commission about an issue that's not on the agenda, notice there are two places to do this. To reserve a time to speak for up to 3 minutes, please sign a speaker request form usually found near the speaker's rostrum.

The first place to speak is soon after the meeting begins. This time is reserved for citizens who want to make a request or provide input that doesn't require discussion.

The spot is frequently used by citizens who don't want to stay for the entire meeting and don't need an immediate response from the Commission.

The second place is near the end of the meeting after the Commission has finished the general business part of its agenda. Again, each speaker is allotted up to 3 minutes. The Commission may enter into discussion of items brought to its attention during this segment of the meeting.

Citizens may also have a chance to address the Commission about items of interest during the General Business part of the agenda. After the Commissioners have had a chance to discuss a general business item, the Chair usually asks if there are any comments from the audience. Again, if you wish to speak, please limit remarks to no more than 3 minutes.

For the record, always give your name and address before you begin speaking. If you're representing a particular group or organization, state that, too. Always address remarks to the Chair or the Commission as a whole, never to an individual commissioner or the audience. Speakers may speak only once on an issue and may not yield their time to another person.

THE COMMON COURTESY RULE: PLEASE BE BRIEF, RELEVANT, AND ALWAYS CIVIL

Commission meetings can be long. Our Commission works hard to keep meetings moving along in a productive and civil manner. Please plan your remarks so that you can make your point clearly and quickly. Always be courteous and civil.

The Chair may call down speakers (or members of the audience) who violate the Commission's rules of decorum. Here are some "no-no's": personal attacks or threats, booing, heckling, cheering, inappropriate clapping, verbal outbursts, and distracting private conversations during proceedings. Also, signs are okay outside of the meeting room but are not allowed in it.

Commission Meeting Rules of Procedure (available at jeffersoncountyfl.gov) give the Chair control of the meeting, much like a judge controls his courtroom. These same rules also give the Chair a lot of flexibility to use his or her judgment in running an efficient and orderly meeting. So if you think you need help or more time, let the Chair know. If time allows, the Chair will usually grant reasonable requests.

Again, thanks for your interest. We're glad you're here!

NOTE: *Except for Common Courtesy rules, slightly different guidelines may apply to public hearings and workshops.*

Contact: Parrish Barwick, County Coordinator (pbarwick@jeffersoncountyfl.gov 850-342-0287) |
Agenda published on 12/10/2021 at 4:14 PM

Statement of Issue:

This agenda item is presented to the Board to request declaration of Property #3: +/- acres of County owned land described as parcel id 05-1S-4E-0000-0071-0000 (7170), as surplus lands and disposition via the private sale method, authorizing the bid sale to proceed with contingencies for successful buyer to cover costs of survey; title insurance; appraisal; if so desired.

Background:

The BOCC adopted a resolution relating to the disposition of surplus lands and adopted a surplus lands policy on October 17, 2019. Per this policy, the County Coordinator, or designee may make a determination of whether or not the land has any potential for future County use. If no such use is identified, it is at the sole discretion of the BOCC to surplus said lands; determine the method of disposition; and publicly notice this fact.

Analysis:

The parcel was not identified to have future potential use for the County.

When the property was acquired by the County and the cost of the acquisition:

March 24, 1983 at a cost of \$0.00

The original reason for acquisition by the County:

On March 18, 1983 Florida Department of Transportation (FDOT) deemed this Sand Borrow Pit aka (Sand Pit No. 1 – Parcel #1 – 54070(820) as “no longer needed” and conveyed to Jefferson County to be used solely for public purposes, pursuant to provisions of Section 337.25(5) of the Florida Statutes

The site location and description including any improvements and zoning classification:

Borders the western side of Waukeelah Highway, part of the W1/2 of SW1/4 of NE1/4 of Sec. 5, Township 1 South, Range 4 East.

No visible improvements

Future Land Use is AGRI 5

The size of the property: 1.972 acres

The current estimate of market value:

\$3,840 per County Appraiser 2020 Tax Roll.

Fiscal Impact:

Expense of \$300.00 or less to cover certified mailing; advertising; and preparation of legal documents.

Future tax revenues will be collected for the property based on its use by the buyer.

Options

1. Approve declaration of surplus property and disposition method.
2. Do not approve declaration of surplus property and disposition method.
3. Board direction.

Interim County Coordinator's Recommendation:

Option 1. Approve declaration of surplus property and disposition method.

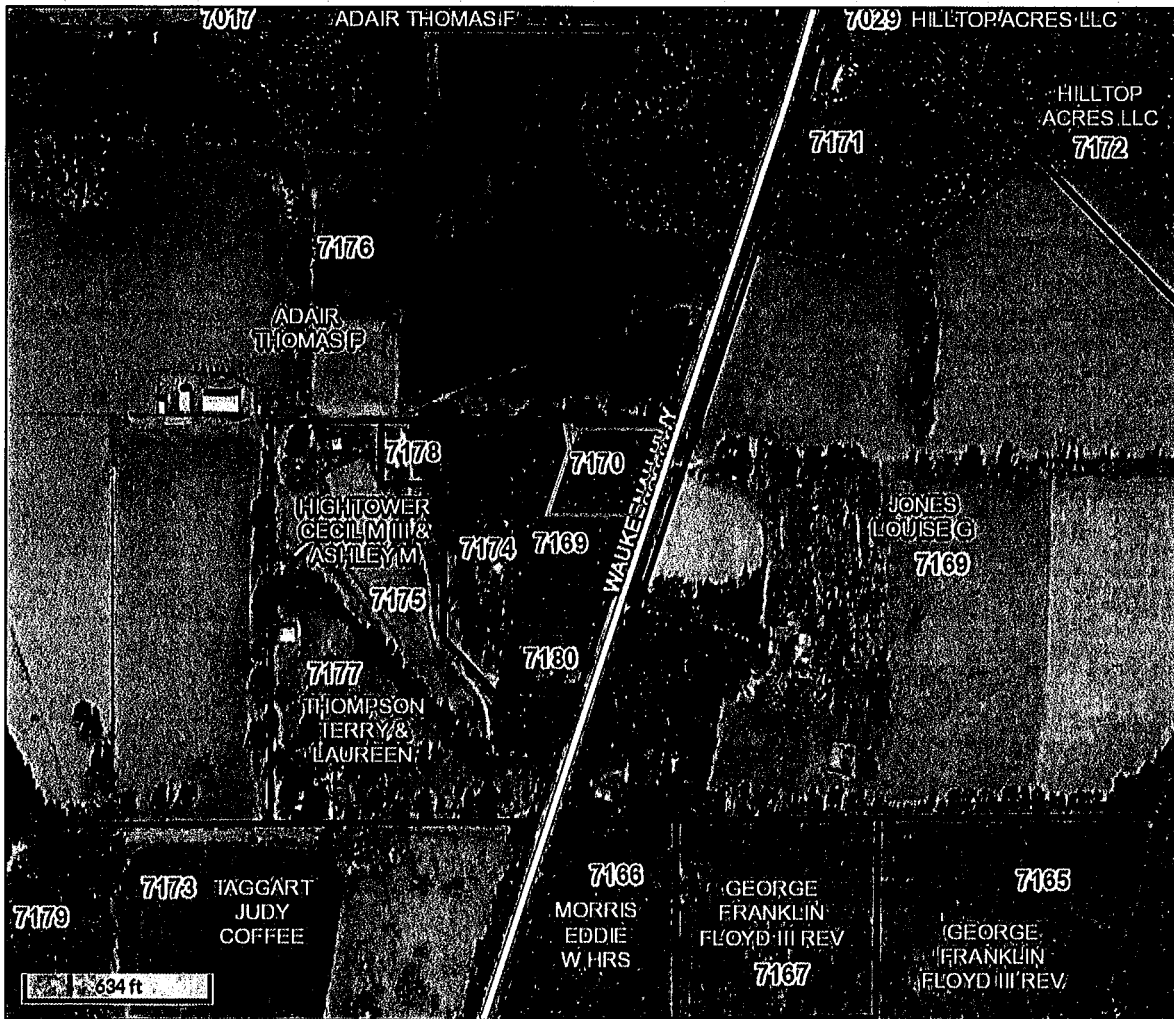
Attachments:

Property - Location Map; Surrounding property owner map; land use designation; and deed
Resolution & Section 2 Privates Sale

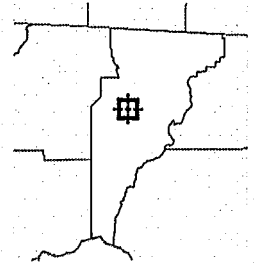


Property #3 Waukeenah Highway Land

05-1S-4E-0000-0071-0000 (7170)



Overview



Legend

State Outlines

☐ <all other values>

☐ Florida

Names

☐ Parcels

Prop ID Numbers

☐ Sketch Validation

☐ Street Centerlines

Parcel ID	05-1S-4E-0000-0071-0000	Mailing Address	JEFFERSON COUNTY BOARD OF COUNTY COMMISSIONERS	Improvement Value	\$0	Just Value	\$3,840	Last 2 Sales		
Prop ID	7170		COURTHOUSE ROOM 10	Land Value	\$3,840	Assessed Value	\$3,840	Date	3/1/1983	Price
Property	COUNTY		MONTICELLO, FL 32344	Ag Land Value	\$0	Value				V/I
Usage		Physical Address	WAUKEENAH HWY	Ag Market Value	\$0	Exempt Value	\$3,840			Qual
Acreage	1.92					Taxable Value	\$0			

Desc 1.92 ACRES IN NW1/4 OF SW1/4 OF NE1/4 (OLD BORROW PIT) ORB 119 P 405

(Note: Not to be used on legal documents)

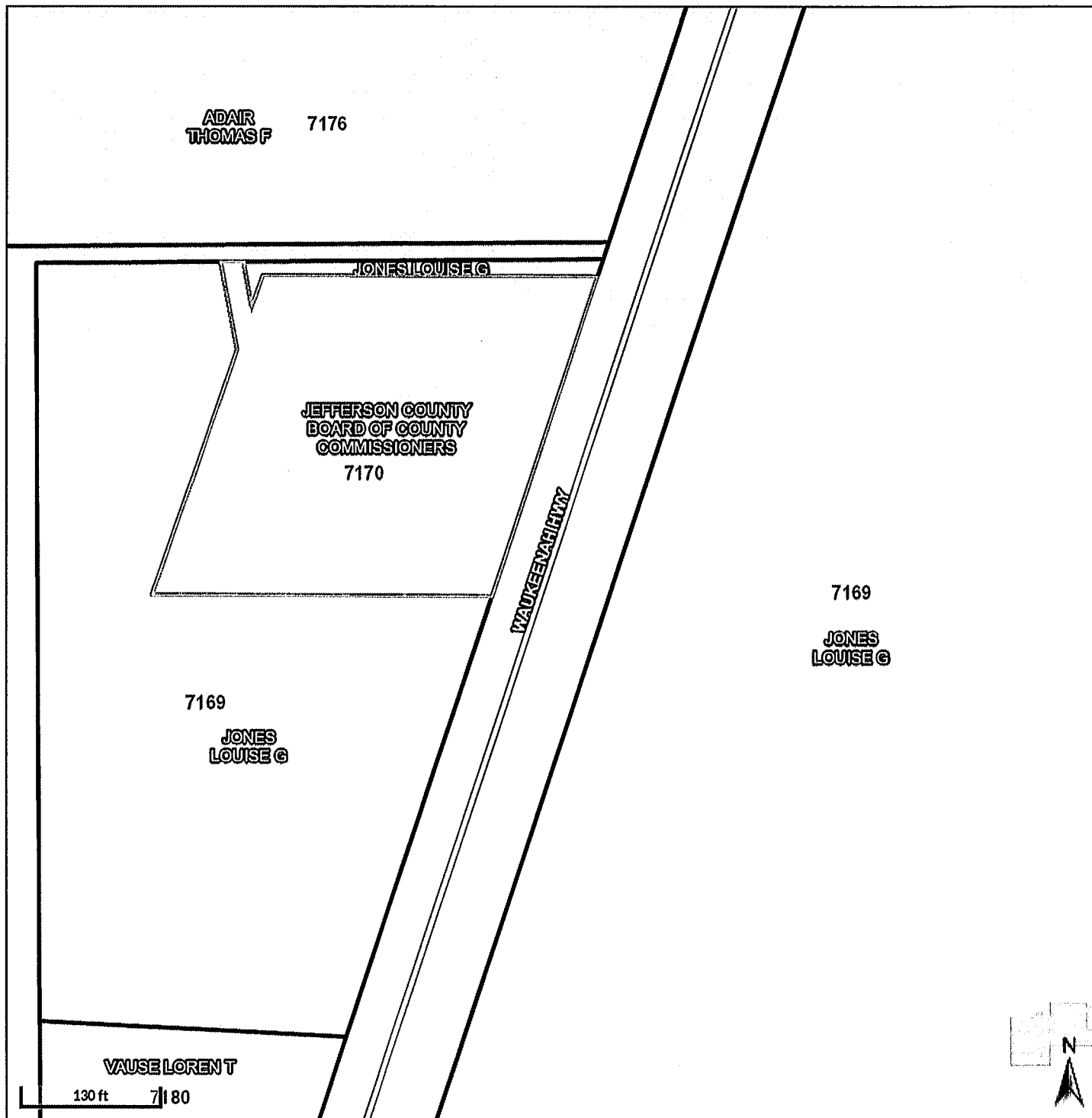
Date created: 2/24/2021

Last Data Uploaded: 2/24/2021 3:38:04 AM

Developed by Schneider GEOSPATIAL

Property #3 Waukeena Highway Land

05-1S-4E-0000-0071-0000 (7170)



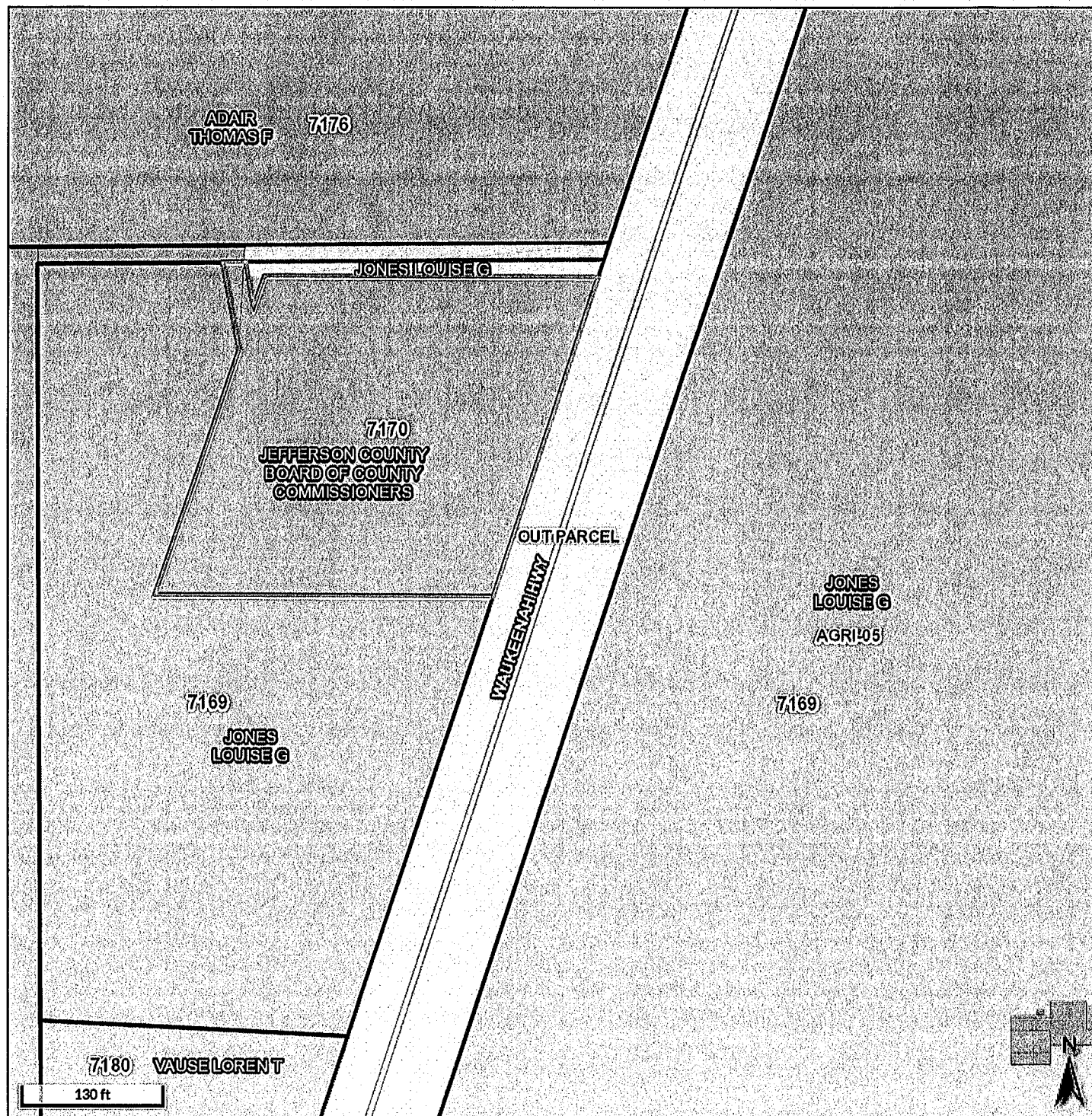
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Developed by  **Schneider**
GEOSPATIAL

Property #3 Waukeena Highway Land

05-1S-4E-0000-0071-0000 (7170)



Date created: 2/24/2021

Last Data Uploaded: 2/24/2021 3:38:04 AM

Developed by  Schneider
GEOSPATIAL

FILED FOR RECORD

38770

APR 15 1983 9:25 A.M.

IN THE PUBLIC RECORDS
OF JEFFERSON CO., FLA.
ELENA R. HAWKINS
CLERK OF CIRCUIT COURT

JEFFERSON COUNTY, FLA.
O.R. BOOK 119 PAGE 405

COUNTY : Jefferson
SECTION : 54020-2502, 54070(820),
STATE ROAD : 54030-2203
PARCEL NO : 139.1R, 140.1, 148.1R,
143.1, 144.1R, 144.2R, 1, 161

PUBLIC PURPOSE QUITCLAIM DEED

(Section 337.25(5) F. S.)

THIS INDENTURE, made this 24th day of March,
19 83, by and between the STATE OF FLORIDA, by and through the STATE OF
FLORIDA DEPARTMENT OF TRANSPORTATION, as the Party of the First Part and
The Jefferson County Board of County Commissioners, Monticello, Florida as the
party of the second part.

WITNESSETH:

WHEREAS, the hereinafter described property held by the Department of
Transportation is no longer used or needed and the Secretary of the Department on
March 18, 1983 has approved conveyance to the Grantee without consideration,
to be used solely for public purposes, pursuant to the provisions of Section 337.25(5).

NOW, THEREFORE, THIS INDENTURE WITNESSETH: That the Party of the First
Part does hereby remise, release and quitclaim unto the Party (Parties) of the Second
part, and assigns, forever, all the right, title and interest of the State of Florida
and/or the State of Florida Department of Transportation to the property described
on Exhibit "A", attached hereto and made a part hereof.

TO HAVE AND TO HOLD the said premises and the appurtenances thereof unto
the Party (Parties) of the Second Part.

THIS CONVEYANCE IS made subject to any unpaid taxes, assessments, liens,
or encumbrances of any nature whatsoever which the Party (Parties) of the Second
Part hereunder and herein assumes.

IN WITNESS WHEREOF, the State of Florida Department of Transportation has
caused these presents to be signed in the name of the State of Florida and in the
name of the State of Florida Department of Transportation by its Director of
Administration, and its seal to be hereunto affixed, attested by its Executive
Secretary, on the date first above written.

JEFFERSON COUNTY, FLA.
O.R. BOOK 119 PAGE 406

Signed, sealed and
delivered in our presence
as witnesses:

Joyce H. Doyle
Amelia Creel

STATE OF FLORIDA DEPARTMENT OF
TRANSPORTATION

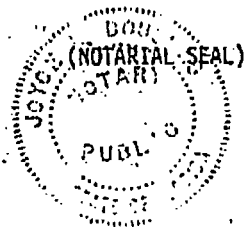
By: Bruce L. Gordon
Director of Administration

Attest: Laurena S. Owen
ACTING Executive Secretary

STATE OF FLORIDA)
COUNTY OF LEON)

BEFORE ME, the undersigned authority, this day personally appeared,
BRUCE L. GORDON AND Laurena S. Owen ^{ACTING} ~~Executive Secretary~~, Director of Administration and ^{Executive Secretary}
of the State of Florida Department of Transportation, respectively, to me known
to be the persons described in and who executed the foregoing instrument, and they
severally acknowledged the execution thereof to be their free act and deed as such
officers for the uses and purposes therein mentioned, and that they affixed thereto
the official seal of said State of Florida Department of Transportation, and the said
instrument is the act and deed of said Department

WITNESS my hand and official seal this 24th day of MARCH,
19 83.



Joyce H. Doyle
Notary Public
Notary Public, State of Florida
My Commission Expires June 8, 1985
Banded thru Tray Loan Insurance, Inc.

Approved as to form and
legality. State of Florida
Department of Transportation

P.B.
Assistant Attorney

Exhibit "A"

MISCELLANEOUS
JEFFERSON COUNTY

JEFFERSON COUNTY, FLA.
O.R. BOOK 119 PAGE 407

DESCRIPTION OF PROPERTY TO BE QUIT CLAIMED BY THE FLORIDA DEPARTMENT OF
TRANSPORTATION TO THE BOARD OF COUNTY COMMISSIONERS OF JEFFERSON COUNTY
(BEING PARCELS 139.1R, 140.1, 143.1, 144.1, 144.2 AND 148.1R, 54020-2502,
PARCEL #1, 54070(820) AND PARCEL 161, 54030-2203

A. BORROW PIT #2 AND BORROW PIT #2 EXTENSION (BEING PARCELS 139.1R, 140.1
AND 148.1R, 54020-2502)

That part of:

The S $\frac{1}{2}$ of SE $\frac{1}{4}$ of Sec. 12, T-1-S, R-3-E lying South of SR 20 less a parcel
lying South of the old 33 ft. R/W of SR 20 and being 210 ft. North and South
by 210 ft. East & West in the NW corner thereof;

lying within the following described boundaries: Commence on the West line
of Section 12, Township 1 South, Range 3 East at a point 829.5 feet North of
the Southwest corner of said Section 12; thence run North 84°01'30" East
2704.56 feet; thence South 22°25'30" East 114.69 feet to the Southerly right
of way line of State Road 20 and the POINT OF BEGINNING; thence North
84°01'30" East along said right of way line 426.89 feet; thence South
2°00'30" East 186.65 feet; thence North 67°04'30" East 55.68 feet; thence
South 22°55'30" East 500 feet; thence South 67°04'30" West 400 feet; thence
North 22°55'30" West 150 feet; thence South 67°04'30" West 225 feet; thence
North 22°55'30" West 500 feet; thence South 67°04'30" West 0.78 feet to the
centerline of Old Wacissa Road; thence North 01°26'30" West 209.57 feet to
the South right of way line of State Road 20; thence North 84°01'30" East
158.51 feet to the POINT OF BEGINNING;

Containing 9.57 acres, more or less.

B. BORROW PIT NO. 3, (BEING PARCELS 143.1, 144.1R AND 144.2R - 54020-2502)

That part of:

The S $\frac{1}{2}$ of SE $\frac{1}{4}$ of Sec. 11, T-1-S, R-3-E, lying South of S.R. 20;

lying within the boundaries of the following described parcel: Commence on
the East line of Section 11, Township 1 South, Range 3 East at a point 829.5
feet North of the Southeast corner of said Section 11; thence run South
84°01'30" West 1395.44 feet; thence South 10°44'30" East 338 feet to the
POINT OF BEGINNING; thence North 87°09'30" East 100 feet; thence South
2°50'30" East 300 feet; thence South 87°09'30" West 900 feet; thence North
2°50'30" West 300 feet; thence North 87°09'30" East 800 feet to the POINT OF
BEGINNING;

Containing 5.61 acres, more or less.

ALSO:

A haul route in the above described South $\frac{1}{2}$ of SE $\frac{1}{4}$ of Sec. 11, lying within
30 feet Westerly of the following described haul route survey line;

Commence on the East line of Section 11, Township 1 South, Range 3 East at a
point 829.5 feet North of the Southeast corner of said Section 11; thence run
South 84°01'30" West 1395.44 feet to the begin haul route survey line; thence
South 10°44'30" East 338 feet to end of said survey line;
less existing R/W of State Road 20.

Containing 0.17 acre, more or less.

C. SAND PIT NO. 1 - PARCEL #1 - 54070(820)

That part of the W $\frac{1}{2}$ of SW $\frac{1}{4}$ of NE $\frac{1}{4}$ of Sec. 5, T-1-S, R-4-E, described as
follows:

Commence at a point in the North boundary of said Southwest one quarter of
Northeast one quarter at a distance of 486.5 feet North 89°55' East from the
Northwest corner thereof; thence South 0°05' East 15 feet to the POINT OF
BEGINNING; thence South 19°38' West 300 feet; thence South 89°55' West 300
feet; thence North 19°38' East 229.8 feet; thence North 10°03' West 79.29
feet; thence North 89°55' East 20.31 feet; thence South 10°03' East 40.70

JEFFERSON COUNTY, FLA.
O.R. BOOK 119 PAGE 408

feet; thence North 19°38' East 29.81 feet; thence North 89°55' East 300 feet to the POINT OF BEGINNING;

Containing 1.972 acres, more or less.

D. BORROW PIT NO. 4 (BEING PARCEL 161, 54030-2203 *and sub*)

A parcel of land, situate, lying and being in the West one half of Southwest one quarter of Section 35, Township 1 North, Range 4 East, described as follows: Commence on the West line of said Section 35 at a point 958.83 feet North of the Southwest corner thereof; thence run North 31°33'30" East 140.60 feet; thence North 89°17'30" East 235.80 feet to the POINT OF BEGINNING; thence South 24°42'30" East 150 feet; thence North 65°17'30" East 400 feet; thence North 24°42'30" West 250 feet; thence South 58°10'30" West 403.11 feet; thence South 24°42'30" East 50 feet to the POINT OF BEGINNING;

Containing 2.07 acres, more or less.

"Subject to all utilities remaining in place and in use."

THIS INSTRUMENT PREPARED BY:
P. R. MINER
STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION
CHIPLEY, FLORIDA
DESCRIPTION APPROVED: 7-22-82

THIS INSTRUMENT WAS APPROVED BY:
DON FINCH *DF*
STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION
TALLAHASSEE, FLORIDA
DESCRIPTION APPROVED: 11-1-82

RESOLUTION NO. _____

**A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS
OF JEFFERSON COUNTY, FLORIDA, RELATING TO THE
DISPOSITION OF SURPLUS LANDS; PROVIDING FINDINGS;
ADOPTING A SURPLUS LANDS POLICY; AND PROVIDING AN
EFFECTIVE DATE.**

WHEREAS, the Jefferson County Board of County Commissioners is the fee title holder to certain parcels of real property located in Jefferson County, Florida; and

WHEREAS, the Board of County Commissioners is in need of a process to periodically evaluate such real property to determine whether same should be declared as surplus such that real property owned by the County can be sold for a reasonable price, returned to productive private use, and added to the tax rolls; and

WHEREAS, adopting a policy which governs the County's disposition of parcels of real property determined to be surplus is in the best interest of the citizens of the County.

NOW THEREFORE, it is ADOPTED AND RESOLVED by the Board of County Commissioners of Jefferson County, Florida, as follows:

SECTION 1: The Board of County Commissioners hereby adopts the following policy regarding the disposition of surplus lands and real property:

The Board of County Commissioners is the fee title holder to certain parcels of real property located within the County. This policy shall govern the County's disposition of parcels of real property determined to be surplus.

(1) It is the policy of the Board of County Commissioners to sell or lease real property belonging to the County only if the real property has been identified as surplus as provided herein and the Board determines that such sale or conveyance is in the best interest of the County. Any such sale or lease shall be to the highest and best bidder for the particular use the County deems to be the highest and best or as to a lease of real property, for such length of term and upon such conditions as the Board may in its discretion determine to be appropriate.

(2) The County Coordinator, or designee, may periodically review County owned real property that is not currently being used by the County and which may be considered surplus property. A property shall not be considered surplus unless there is no known potential future County use. If such potential surplus property is identified, the following information on the property, to the extent known or readily ascertainable, shall be compiled and distributed to all County departments along with a request for comments.

- a. When the property was acquired by the County and the cost of the acquisition;
- b. The original reason for acquisition by the County;
- c. The site location and description including any improvements and zoning classification;
- d. The size of the property; and

- e. The current estimate of market value.

Based on the above review and comment, a list of parcels that may potentially be considered surplus may be compiled by the Coordinator and provided to the Board. The determination as to whether a particular parcel of real property is surplus shall be at the sole discretion of the Board of County Commissioners.

(3) A sale of real property determined to be surplus shall be made only after notice thereof is published once week for at least 2 consecutive weeks in a newspaper of general circulation in Jefferson County, calling for bids for the purchase of the real property so advertised to be sold. In the case of a sale, the bid of the highest bidder complying with the terms and conditions set forth in such notice shall be accepted, unless the Board rejects all bids because they are too low, or otherwise determines that the real property is not surplus. The Board may require a deposit to be made or a surety bond to be given, in such form or in such amount as the Board determines, with each bid submitted.

(4) Notwithstanding the above, when the Board finds that a parcel of real property is of insufficient size and shape to be issued a building permit for any type of development to be constructed on the property or when the Board finds that the value of a parcel of real property is \$15,000 or less, and when, due to the size, shape, location, and value of the parcel, it is determined by the Board that the parcel is of use only to one or more adjacent property owners, the Board may effect a sale of the parcel to an adjacent owner as provided herein. As to any such parcel the County shall send notice by certified mail of the availability of such parcel to the owners of adjacent property. After waiting at least 10 working days after receipt of the notice, the Board may sell the parcel without receiving bids or publishing notice. However, if, within 10 working days after receiving such mailed notice, two or more owners of adjacent property notify the Board in writing of their desire to purchase the parcel, the County Commission shall solicit and accept sealed bids for the parcel from such property owners and may convey such parcel to the highest bidder or may reject all offers.

(5) In the alternative to subsections (3) and (4) herein above, the Board may at any time (regardless of whether a parcel has been declared surplus) authorize a particular parcel of real property to be listed with a licensed real estate agency or to be posted with a real estate for sale sign in absence of such a listing.

(6) If the Board receives an offer on property not previously evaluated by the County Coordinator under subsection (2) herein above, the Board shall follow the same procedures as outlined herein, as applicable.

(7) Together with other procedures set forth more particular, together with applicable Florida Statutes, in this Policy.

SECTION 2: This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED by the Board of County Commissioners of Jefferson County, Florida, on this _____ day of October, 2019.

BY:

Chairman of the Board of Commissioners
for Jefferson County, Florida

ATTEST:

Clerk of the Board of County Commissioners
for Jefferson County, Florida

**BOARD OF COUNTY COMMISSIONERS
JEFFERSON COUNTY**

**DISPOSITION OF SURPLUS LANDS
(REAL PROPERTY) POLICY**

JEFFERSON COUNTY BOARD OF COUNTY COMMISSIONERS
Disposition of Surplus Real Property

TABLE OF CONTENTS

Section 1	Bid Sale or Lease.....	4
Section 2	Private Sale.....	5
Section 3	Competitive Negotiation.....	5
Section 4	Conveyance to Governmental Entity or Non-profit Organization.....	8
Section 5	Like Kind Exchange.....	9

The disposition of County owned property is governed by Chapter 125, Florida Statutes. The County Clerk of Court will be the custodian of the inventory of County owned properties.

These guidelines are provided to assist management and Board of County Commissioners when making decisions on the disposition of surplus lands.

Florida Statutes provide a number of alternative methods for the disposition of county surplus property. These include:

1. Bid sale or lease (Section 125.35(1), Florida Statutes
2. Private sale (Section 125.35(2), Florida Statutes);
3. Competitive negotiation (Section 125.35(3), Florida Statutes);
4. Conveyance to governmental entity or non-profit organization (Section 125.38, Florida Statutes);
5. Like kind exchange (Section 125.37, Florida Statutes); and

Determining Method of Surplus Lands Disposition

The county coordinator may provide prioritize list of disposition options with a preferred recommendation; however, the board has sole discretion to determine the method to be used in disposing of surplus property. This is considered a discretionary act of the board and is not subject to appeal.

The county may engage the services of a Florida licensed real estate broker or auctioneer to assist in the disposing of surplus property.

Determination as to estimated value of land.

The county coordinator will present to the board the estimated value of all property declared to be surplus pursuant to this article. This determination may be based upon the assessed value as set by the county property appraiser, or an appraisal prepared by an independent state certified real estate appraiser acceptable to the county coordinator. Determinations as to the estimated value of surplus land must consider and evaluate the following:

1. Configuration of the property;
2. Location;
3. Uplands/wetlands;
4. Environmental concerns;
5. Ability to develop the parcel in accordance with applicable regulations;
6. Current zoning on the parcel;
7. Highest and best use of the parcel; and
8. Encumbrances on title.

1) Bid Sale.

- a) Generally. The bid sale or lease process is controlled by the provisions of Section 125.35(1), Florida Statutes.
- b) *Request.* Any person may request a bid sale or lease of property by filing a written request with the county coordinator with board approval. The request must specifically identify the property and include a statement as to a bonafide intention to purchase, or to lease, the property.
- c) *Surplus determination.* If a person seeks to purchase or lease a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase or lease property already declared surplus by the board does not require additional board action until a purchase agreement or lease agreement is executed by the potential buyer and presented for board consideration.
- d) *Minimum bid determination.* The county coordinator will determine the estimated value of the surplus property as outlined in this policy and present this figure to the board for consideration in setting a minimum bid. The establishment of a minimum bid is a discretionary act of the board and is not subject to appeal.
- e) *Notice.* A notice calling for bids must be published in a newspaper of general circulation once a week for at least two weeks prior to board approval of any real estate purchase agreement resulting from the bid sale process. The notice must indicate identification and location of the subject property, where a bid package may be obtained, and the bid submittal deadline.
- f) *Bid acceptance.* All bids must comply with the county-approved bid specifications contained in bid package. Only bids meeting these specifications will be considered. Bids must be accompanied by the requisite deposit in the form of cashier's check, certified funds or a money order. Cash or personal checks will not be accepted.
- g) *Purchase agreement.* The board may enter into a real estate purchase agreement or for the sale or lease of the parcel with the highest acceptable bidder. However, the board has the right to reject any and all bids, at any time in the bid sale process, for any reason. Similarly, the board may cancel the sale.
- h) *Alternative disposition.* If the initial bid sale is not successful, the county coordinator may suggest to the board an alternative disposition method or suggest retaining the property in the surplus property inventory.

2) Private Sale.

- a) *Generally.* The private sale process is controlled by the provisions of Section 125.35(2), Florida Statutes. A private sale is appropriate only after the board determines that:
 - 1. The parcel of real property is of insufficient size and shape to be issued a building permit for any type of development to be constructed on the property; and the parcel is of use only to one or more adjacent property owners due to the size, shape, location and value of the parcel; or
 - 2. The value estimate of the parcel is \$15,000 or less, as determined by a fee appraiser designated by the board or by the county property appraiser, the parcel is of use only to one or more adjacent property owners due to the size, shape, location, and value of the parcel.
- b) *Request.* A person may request a private sale of property by submitting a written request to the county coordinator. The request must specifically identify the property and include a statement as to a bonafide intention to purchase the property. A private sale may also be recommended to the board by the county coordinator based upon the above (a) and, a review of the surplus property inventory.
- c) *Surplus determination.* If a person seeks to purchase a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase property already declared surplus by the board does not require additional board action until a purchase agreement is executed by the potential buyer and presented for board consideration.
- d) *Notice.* A written notice of the intent to sell the property under the private sale alternative must be sent to all adjacent property owners by certified mail. The notice must inform the property owners about the property for sale, how to submit an offer to purchase the parcel, the required time frame for submittal of an offer and what process will result if more than one property owner desires to purchase the parcel.
- e) *Multiple offers to purchase.* If two or more adjacent property owners notify the county of a desire to purchase the surplus parcel, then the county will solicit sealed bids from those property owners.
- f) *Purchase agreement.* The board may enter into a purchase agreement for the sale of the parcel with the highest acceptable bidder. However, the board has the right to reject any and all bids, at any time in the private sale process, for any reason, as well as cancelling the sale outright.

3) **Competitive Negotiation.**

- a) *Authority and scope.* This section is enacted under the authority of Section 125.35(3), Florida Statutes, to prescribe additional disposition standards and procedures to be used by the county in selling, conveying, or leasing real property owned by the county for a term in excess of one year. Leasing (or otherwise providing for the use of real property) for a term of one year or less is not governed by this section. Regardless of the length of

the term, concession agreements, license agreements, operating agreements, recreational facility use agreements or other agreements requiring the use of real property owned by the county but whose primary purpose is to provide services to the county or to the public are not governed by this article.

- b) *Standards.* The board may negotiate, approve and execute lease, sale, conveyance or other development agreements for real property owned by the county to be used by a private party in a manner directly benefiting the county or otherwise for a governmental or public purpose. In no event shall the uses permitted by any such lease, sale, conveyance or other development agreement violate the county's future land use, development code regulations or comprehensive plan.
- c) *Procedures.*
 - i) The following procedures shall apply to selected transactions relating to negotiated lease, sale, conveyance or other development agreements benefiting the county or otherwise for governmental or public purposes:
 - (1) The selection of private parties for lease, sale, conveyance or other development agreements shall result from an open competitive process. Examples of competitive solicitations that comply with the terms of this section include, but are not limited to, invitations to negotiate, requests for proposals and requests for letters of interest.
 - (2) Notice of each solicitation shall be published in a newspaper of general circulation in the county not less than ten calendar days prior to the date on which responses to the solicitation are due. The notice shall indicate how copies of the solicitation can be obtained or electronically accessed by interested parties and state the date and time responses will be opened.
 - (3) The county will have the right to require additional information and interview any, all or none of the respondents. The interview format and content will be at the county's discretion. The county will have the right to conduct site visits of the respondents' facilities and/or of any current project(s) managed by the respondents.
 - (4) Solicitation submittals will be reviewed and evaluated by the county to determine how the written responses and additional information address the county's needs and requirements, as stated in the solicitation. Evaluation criteria shall include, but not be limited to the following:
 - (a) The proposed use of the property, including such details as are required by the county coordinator and/or board;
 - (b) Respondent's ability to perform its obligations under the proposed lease, sale, conveyance or other development agreement;
 - (c) The financial obligations, if any, to be borne by the county;
 - (d) Respondent's past record of performance;
 - (e) Experience of the respondent and the respondent's team, if applicable; and
 - (f) Recent, current and projected workloads of the respondent and the respondent's team.
 - (g) Additional evaluation criteria may be included in each solicitation.

- (h) The county coordinator will present the proposed lease, sale, conveyance or other development agreement to the board for consideration. The board may approve or reject the proposed lease, sale, conveyance or other development agreement in its sole and absolute discretion.
- ii) Any public-private partnership agreement entered into prior to the effective date of this section, that resulted from a competitive process, may be subsequently amended to include a negotiated lease, sale, conveyance or other development agreement, without further solicitation, if the public purpose underlying such public-private partnership agreement is not affected thereby.
- d) *Request.* A competitive negotiation may also be requested by the county coordinator based upon a review of the declared surplus property inventory. Any person may request a competitive negotiation of property by submitting a written request to the county coordinator.
- e) *Surplus determination.* If a person seeks to purchase or lease a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase or lease property already declared surplus by the board does not require additional board action until a purchase agreement is executed by the potential buyer and presented for board consideration.
- f) *Notice.*
 - i) Types of notice. Once the parcel has been properly designated surplus, notice of the availability and potential sale, conveying or lease of the parcel will be provided through and at least two of the following means:
 - (1) County Website;
 - (2) Sign on the parcel;
 - (3) Posted notice in the Courthouse;
 - (4) Mailed notice to adjacent property owners;
 - (5) Notice to names on the surplus lands mailing list;
 - (6) Newspaper advertisement at least two weeks in advanced.
 - (7) Electronic media notice or advertisement.
 - ii) Notice period/deadline for submittal of responses to a solicitation. The deadline for submittal of responses will be a minimum of 30 days from the date the notice of availability for sale, conveyance or lease is first published. For purposes of calculating the deadline date, the first day of publication will not be counted; a deadline date falling on a weekend or holiday will be moved forward to the next regular business day.
- g) *Negotiation.* The county coordinator will attempt to negotiate a purchase agreement or lease agreement with the selected respondent. All aspects of the real estate negotiation process are open for discussion, including an increase in the bid or sale price, or rent, of the property. The negotiation period will be established in the solicitation documents. If the county is unable to successfully negotiate a purchase agreement or lease agreement with the selected respondent within the negotiation period, then the county may cease

negotiations with the selected respondent and proceed to negotiations with another respondent, if any.

- h) *Purchase agreement or lease agreement.* Once a purchase agreement or lease agreement has been successfully negotiated, the agreement will be sent to the board for consideration and approval. The date the item will appear on the board agenda will be available on the county website. The board has the right to reject any and all purchase agreements or leases, at any time in the competitive negotiation process, for any reason.

4) Conveyance to governmental entity or non-profit organization (Section 125.38, Florida Statutes)

- a) *Generally.* The conveyance to governmental entity or non-profit organization is controlled by the provisions of Section 125.38, Florida Statutes.
- b) *Request.* The United States, or any department or agency thereof, the state or any subdivision or agency thereof, or any municipality of this state, or corporation or other organization not for profit Any person may request conveyance or lease of property by filing a written request with the county coordinator. The request must specifically identify the property and include a statement as to a bonafide intention to purchase, convey or to lease, the property for the purposes of promoting community interest and welfare.
- c) *Surplus determination.* If a person seeks to purchase or lease a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase or lease property already declared surplus by the board does not require additional board action until a purchase agreement or lease agreement is executed by the potential buyer and presented for board consideration.
- d) *Notice.* The fact of such application being made, the purpose for which such property is to be used, and the price or rent therefore shall be set out in a resolution duly adopted by such board. In case of a lease, the term of such lease shall be recited in such resolution. No advertisement shall be required.
- e) *Minimum offer determination.* The county coordinator will determine the estimated value of the surplus property as outlined in this policy and present this figure to the board for consideration in setting a minimum offer. The establishment of a minimum bid is a discretionary act of the board and is not subject to appeal.
- f) *Multiple offers to purchase, convey or lease.* If two or more governmental entity and/or non-profit organizations notify the county of a desire to purchase or lease the surplus parcel, then the county will evaluate each entity's organize purposes of promoting community interest and welfare and choose which will be most beneficial to the citizens. This decision is a discretionary act of the Board. It is not subject to appeal.
- g) *Purchase agreement.* The agreement should include a clause that if the entity fails to utilize the property for the approved purpose of promoting community interest and welfare for more than two consecutive calendar years, it be gifted back to the County.

5) Like kind exchange

- a) *Generally.* Like kind exchange is controlled by the provisions of Section 125.37, Florida Statutes.
- b) *Request.* The County Coordinator or individual board member may ask the board to consider an exchange of property not needed for county purposes be exchanged for other real property, which the county may desire to acquire for county purposes via written notice.
- c) *Surplus determination.* If a person seeks to purchase a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase property already declared surplus by the board does not require additional board action until a purchase agreement is executed by the potential buyer and presented for board consideration.
- d) *Notice.* A written notice setting forth the terms and conditions of any such exchange of property, shall be first published, once a week for at least 2 weeks in a newspaper of general circulation published in the county, before the adoption by the board of a resolution authorizing the exchange or properties.
- e) *Agreement of Exchange.* The board must adopt a resolution authorizing the exchange of properties and complete the exchange in accordance of customary real estate practices.

Note: See Jefferson County Capital Asset Policy when dealing with Tangible Personal Property.

CONTRACT FOR SALE AND PURCHASE

PARTIES: JEFFERSON COUNTY BOARD OF COUNTY COMMISSIONERS, as
"Seller",

of 1 Courthouse Circle, Room 10, Monticello, FL 32344 (Phone: _____)

and Louise G Jones, as "Buyer",

of 8101 Waukeenah Highway, Monticello, Florida 32344 (Phone: 850-251-7708)

hereby agrees that the Seller shall sell and Buyer shall buy the following property upon the following terms and conditions:

I. DESCRIPTION:

- (a) Legal description of real estate located in Jefferson, County, Florida:

SEE ATTACHED EXHIBIT "A" FOR LEGAL DESCRIPTION

- (b) Parcel ID 05-1S-4E-0000-007I-0000; 1.920 Acres +/-;

- (c) Street address, if any, of the property being conveyed is Waukeenah Highway,
Monticello, Florida 32344

- (d) Personal property included: NONE

II. PURCHASE PRICE: \$4,140.00

PAYMENT:

- (a) Deposit(s) to be held in escrow by T. Buckingham Bird (T. Buckingham Bird Trust Account)
in the amount of \$500.00.
- (b) Subject to AND assumption of Mortgage in favor of N/A bearing interest
at N/A % per annum and payable as to principal and interest \$ N/A per
month, having an approximate present principal balance of \$ N/A.
- (c) Purchase money mortgage and note bearing interest at N/A % on terms set forth
herein below, in the principal amount of \$ N/A.
- (d) Other \$ N/A.
- (e) Balance to close, (U. S. cash, certified or cashier's check) subject to adjustments
and prorations \$ 3,640.00.

TOTAL:.....\$ 4,140.00

- III. TITLE EVIDENCE: Within 30 days from date of Contract, Buyer may, at their expenses obtain a title commitment and furnish Seller a copy. Fee owner's title policy premium shall be paid by Buyer at closing.
- IV. TIME FOR ACCEPTANCE AND EFFECTIVE DATE: If this offer is not executed by both of the parties hereto on or before N/A, the aforesaid deposit(s) shall be, at the option of Buyer, returned to him and this offer shall thereafter be null and void. The date of Contract shall be the date when the last one of the Seller and Buyer has signed this offer.
- V. CLOSING DATE: This transaction shall be closed and the deed and other closing papers delivered on or before the 31st day of January, 2022 unless extended by other provisions of Contract.
- VI. RESTRICTIONS, EASEMENTS, LIMITATIONS: The Buyer shall take title subject to: Zoning, restrictions, prohibitions and other requirements imposed by governmental authority.
- VII. ASSIGNABILITY: Buyer _____ may assign X may not assign, Contract.
- VIII. TYPEWRITTEN OR HANDWRITTEN PROVISIONS: Typewritten or handwritten provisions inserted herein or attached hereto as Addenda shall control all printed provisions in conflict therewith.
- IX. CLOSING COSTS PAID AS FOLLOWS: (check under Buyer or Seller)

	Buyer	Seller
Record Deed	X	
Doc Stamps on Deed	X	
Owners Title Insurance	X	
Settlement Fee	X	
Search Fee		
Mortgage Title Insurance		
Mortgage Endorsements		
Lenders Fees		
Record Mortgage		
Doc Stamps on Note		
Intangible Tax on Mortgage		
Overnight/Courier Fees		
Survey (if any)	X	
Appraisal		
Pest Inspection		
Other Costs		

Repairs needed per pest inspection __N/A_____

If any up to __N/A_____ % of purchase price

Pro-rate Taxes _____ Yes __X___ No

- X. FAILURE OF PERFORMANCE: If BUYER fails to perform this contract within the time specified (including payment of all deposit) the deposit paid by BUYER may be retained by or for the account of SELLER as agreed upon liquidated damages, consideration for the execution of this contract and in full settlement of any claims; whereupon BUYER and SELLER shall be relieved of all obligations under contract; OR SELLER at SELLER's option, may proceed to enforce SELLER's right by seeking specific performance. If, for any reason other than failure of SELLER to make SELLER's title marketable after diligent effort, SELLER fails, neglects or refuses to perform this contract, the BUYER may seek specific performance or elect to receive the return of BUYER's deposits without thereby waiving any action for damages resulting from SELLER's breach.
- XI. ATTORNEY FEES AND COSTS: In connection with any litigation, including appeals, arising out of this contract, the prevailing party shall be entitled to recover all costs incurred, including reasonable attorney fees.
- XII. This is a legally binding contract. If you do not fully understand it, seek the advice of a Real Estate Attorney prior to signing. This contract shall not be recorded.
- XII. SPECIAL CLAUSES:
1. N/A.

THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT IF NOT FULLY
UNDERSTOOD,
SEEK THE ADVICE OF AN ATTORNEY PRIOR TO SIGNING.
THIS FORM HAS BEEN APPROVED BY THE FLORIDA ASSOCIATION OF
OF REALTORS AND THE FLORIDA BAR

Executed by Buyer on _____

Signature of Witness (Buyer)

Type or Print Name of Witness

Signature of Witness (Buyer)

Type or Print Name of Witness

Executed by Seller on _____

Signature of Witness (Seller)

Type or Print Name of Witness

Signature of Witness (Seller)

Type or Print Name of Witness

Deposit(s) under II (a) received; if check, subject to
clearance.

By: _____
(Escrow Agent)

EXHIBIT "A"

That part of the W ½ of SW ¼ of NE ¼ of Sec. 5, T-1-S, R-4-E, described as follows:

Commence at a point in the North boundary of said Southwest one quarter of Northeast one quarter at a distance of 486.5 feet North 89°55' East from the Northwest corner thereof; thence south 0°05' East 15 feet to the POINT OF BEGINNING; thence South 19°38' West 300 feet, thence South 89°55' West 300 feet; thence North 19°38' East 229.8 feet; thence North 10°03' West 79.29 feet; thence North 89°55' East 20.31 feet; thence South 10°03' East 40.70 feet; thence North 19°38' East 29.81 feet; thence North 89°55' East 300 feet to the POINT OF BEGINNING;

Containing 1.92 acres, more or less.

RESOLUTION 21-_____

A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF JEFFERSON COUNTY, FLORIDA, AUTHORIZING THE SALE OF CERTAIN SURPLUS PROPERTY LOCATED ON WAUKEENAH HIGHWAY TO LOUISE G. JONES.

WHEREAS, the Jefferson County Board of County Commissioners acquired title to certain property identified as Parcel number 7170 located on Waukeelah Highway for use as a borrow pit; and

WHEREAS, the Jefferson County Board of County Commissioners has declared the property to be surplus qualifying for private sale based on the County surplus lands policy, the property being of limited use and value and surrounded on all sides by property owned by the purchaser Louise G. Jones; and

WHEREAS, purchaser Louise G. Jones has agreed to a purchase price equal to the value placed on the parcel by the Jefferson County Property Appraiser, plus certain costs to be incurred by the County.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF JEFFERSON COUNTY, FLORIDA:

The sale of the property designated as Parcel 7170 and located on Waukeelah Highway to Louise G. Jones is hereby approved.

1. The Board of County Commissioners accepts the Contract for Sale and Purchase as per the terms and conditions. A copy of the Contract for Sale and Purchase is attached.
2. By adopting this resolution and attached contract, the Board of County Commissioners of Jefferson County, Florida, hereby authorizes the Chairman of the Board and the Clerk of Court to sign or execute on behalf of the Jefferson County Board of County Commissioners any contracts or documents for the sale of the Property.
- 3 This resolution shall take effect immediately upon its adoption.

DULY ADOPTED in regular session, this 16th day of December, 2021.

BOARD OF COUNTY COMMISSIONERS OF
JEFFERSON COUNTY, FLORIDA

By:

Gene Hall, Chairman

ATTEST:

Kirk Reams, Clerk of Court
(SEAL)

APPROVED AS TO FORM

Scott Shirley, Jefferson County Land Use Attorney

SURPLUS PROPERTY #: 3
PARCEL ID: 05-15-4E-0000-0071-0000
ADDRESS: W LAKEVIEW HIGHWAY
SIZE: 1.972 ACRES IN AG-5

DEPARTMENT	Date Noticed	Response Date	NO Future Need	Req. Future Need
Building (K)	4/8/2021	7/7/2021	X	
Extension	4/21/2021	4/23/2021	X	
Fire Rescue	4/15/2021	4/15/2021	X	
Health	4/21/2021	4/22/2021	X	
Library	X	X	—	—
Parks & Rec	4/8/2021	5/3/2021	X	
Planning SM	4/15/2021	4/30/2021	X	
Road DB	4-8-21	4/15/2021	X	
Solid Waste pll	4-8-2021	7/23/2021	X	
Veteran	4/20/2021	6/15/21	X	

March 4th, 2021

private

_____ Newspaper
_____ Website
_____ Facebook

CERTIFIED MAIL: ADJACENT PROPERTY OWNERS - There are none (R)

[illegible]

JEFFERSON COUNTY
PLANNING DEPARTMENT

445 W. PALMER MILL ROAD - MONTICELLO, FLORIDA 32344
Phone (850) 342-0223 - Fax: (850) 342-0225



SPECIAL EXCEPTION
APPLICATION FORM

Date of application 11/01/2021

Proposed Type of Development: Large Scale Solar Photovoltaic Collector System

Type of Subdivision: N/A Public Private Total Number of Lots:

Property Tax ID Number(s): 07-1N-5E-0000-0010-0000, 08-1N-5E-0000-0011-0000, 12-1N-4E-0000-0014-0000.

Location (Existing Road): Aucilla Road, Monticello FL, 32344

Lloyd W. Chamberlin

Property Owner's Name

415-626-1802

Applicant's Phone Number

[Signature]
Signature of Applicant

600 Park Office Drive, Suite 285, Research Triangle Park, NC 27709

Address

Fresh Air Energy II, LLC

Applicant, if different than Owner

N/A

Cell Phone Number

Please see Attachment C for landowner consent forms.

Signature of Owner if different

13338 Golf Crest Circle, Tampa, FL 33618

Address

A public hearing will be conducted by the Jefferson County Planning Commission on:

Date	Time	Place
------	------	-------

NOTE: Approval by the Planning Commission results in a Development Permit that will expire one (1) year from the date approved unless a building permit or site construction permit application has been submitted and is under review or approved. Extension(s) can be granted by the Planning Official upon written request submitted a minimum of 15 days prior to the expiration date.

The items required in the Jefferson County Land Development Code shall be submitted with this application.

1. Fill out form as complete as you can.
2. Dates for required public hearings will be supplied when you return the form.
3. Notice by Certified Mail of the public hearing is required to be sent to all property owners within 500 feet of the perimeter of the development site. Attach a copy of the certified list of said property owners obtained from the Property Appraiser's Office.
4. Allow the Planning Department a few days to review the application and determine that is complete before notice is sent to property owners.
5. If you have questions, ask them during the pre-application meeting.
6. Post the on-site notification sign at the site at least 30 days prior to the meeting and notify the Planning Department when it is posted.

DEVELOPMENT REVIEW CHECKLISTS

This checklist is designed to help you, the developer, meet all the requirements for development review. This merely a summation of the requirements found in Article 9 of the Jefferson County Land Development Regulations, which have been included for your benefit. Please take time to familiarize yourself with the requirements in Article 9 and use this checklist as a reference. Failure to include any of these requirements in your application will result in a processing delay. Check all items or note N/A if not applicable to your development. Staff may mark some items as N/R (not required). If you have questions about any of the requirements, please contact the Jefferson County Planning Department at (850) 342-0223.

An application for special exception shall be submitted concurrently with a development plan and shall include all submittal requirements of this Code, including the performance standards listed below.

JEFFERSON COUNTY PLANNING DEPARTMENT

445 W. PALMER MILL ROAD - MONTICELLO, FLORIDA 32344
Phone (850) 342-0223 - Fax: (850) 342-0225



APPLICATION MAJOR DEVELOPMENT SITE PLAN NON-RESIDENTIAL OVER 25,000 SQ.FT. MULTI-FAMILY RESIDENTIAL OVER 10 UNITS

Date of application 11/01/2021

*Date approved _____

Lloyd_ W. Chamberlin

Fresh Air Energy II, LLC

Property Owner's Name

Applicant

415-626-1802

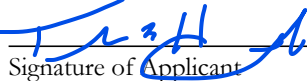
N/A

Applicant's Phone Number

Cell Phone Number

Property to be considered: 07-1N-5E-0000-0010-0000, 08-1N-5E-0000-0011-0000, 12-1N-4E-0000-0014-0000.
Tax ID Number

Location: Aucilla Road, Monticello FL, 32344.



Signature of Applicant

Please see Attachment C for owner consent forms

Signature of Owner if different

600 Park Offices Drive Suite 285 Research Triangle Park, NC 27709

Please see Attachment C for owner consent forms

Address

Address

*This permit is good for one (1) year from the date approved. Extension(s) can be granted upon written request.

A public hearing will be conducted by the Jefferson County Planning Commission on:

Date

Time

Place

The items required in Section 9 of the Jefferson County Land Development Code shall be submitted with this application.

1. Fill out form as complete as you can.
2. Dates for public hearings will be supplied when you return the form.
3. Attach a copy of the certified list of all property owners within 500 feet of the perimeter of the development site for mailed notification. The certified list be obtained from the Property Appraiser's Office.
4. The Planning Department will review the application and determine that is complete before formal notification to property owners.

OWNER'S CONSENT FORM

Project: Drifton PV1

Submittal Date: _____

OWNER'S AUTHORIZATION

I/we ^{give} HEREBY GIVE MY CONSENT to Ecoplexus Inc. (by and through its affiliates, officers, directors, managers, employees and agents) to act on my/our ^{give} behalf, to submit or have submitted any application and all required material and documents, and to attend and represent me/us ^{give} at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I/we ^{give} hereby give consent to the party designated above to agree to all terms and conditions that may arise as part of the approval of this application.

I/we ^{give} hereby certify that I/we ^{give} have full knowledge of the property's anticipated use as a solar power generation facility and that I/we ^{give} have an ownership interest in the subject of this application. I/we ^{give} understand that any false, inaccurate or incomplete information provided by me/us ^{give} or my/our agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I/we ^{give} acknowledge that additional information may be required to process this application. I/we ^{give} further agree to all terms and conditions, which may be imposed as part of the approval of this application.


Signature of Owner

Lloyd W. Chamberlin, III
Print Name


10-29-2021
Date

Property Tax ID Numbers:
07- 1N-5E-0000-0010-0000,
08- 1N-5E-0000-0011-0000,
12-1N-4E-0000-0014-0000.

Landowner Address:
13338 Golf Crest Circle,
Tampa, FL 33618

Landowner Phone Number:
813-962-7843

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department, and will not be returned.


Signature of Ecoplexus Inc.

Erik Stuebe
Print Name

11-3-21
Date



Drifton PV1 Solar Facility

Jefferson County, FL

Special Exception and Major Development Project Narrative

September 21, 201 (Revised October 29, 2021)

OVERVIEW

Fresh Air Energy II, LLC (the applicant) is proposing to construct the Drifton PV1 Solar facility (the project) which will be a 70 MW ac project located in the center of Jefferson County, east of Highway US-19 and north of Drifton-Aucilla Road. This project will interconnect with the nearby Duke Energy Florida Drifton substation located on the eastern side of the property, and supply power to the 115 kV transmission line running from east to west through the center of the project area. This proposed project is situated on three (3) parcels as identified on the property appraiser site as follows:

07-1N-5E-0000-0010-0000

08-1N-5E-0000-0011-0000

12-1N- 4E-0000-0014-0000

The total parcel area listed in the parcels above is approximately 676.10 acres. The footprint of acreage to be utilized by the solar panels and associated structures is approximately 272.8 4acres, and includes the land utilized for solar panel structures, fencing, internal road spacing and other associated equipment. The parcels are currently utilized for silviculture and agricultural land use per the Jefferson Property Appraiser website. The three parcels are located within the Agriculture 5 (AGRI-5) and the western most parcel is partially located within the Industrial Land Use District.

JUSTIFICATION

Solar energy is essential and desirable to the public convenience and welfare. Demand for electricity has increased in recent years, and our society is currently dependent upon conventional sources of power such as coal, gas, and nuclear energy. Conventional sources of electricity are expensive, finite resources that require significant environmental disruption and public safety risk to maintain or extract. Solar energy is a clean, cheap, unlimited resource with little environmental impact.

Allowing the property to develop as a solar facility provides an opportunity for locally generated energy resources in Jefferson County and creates income for the property owners and tax base for the Jefferson County without stressing critical infrastructure such as roads, schools, and emergency services. Solar facilities allow property owners to maintain large tracts of land that are easily redeveloped at the appropriate time in the future. While the traditional land-uses on the parcels is agricultural and silvicultural, the represented landowners see the associated lease as an opportunity to increase revenue

from their property.

Solar facilities make good neighbors. They are quiet and have minimal moving parts. The only sound produced occurs during daylight hours with the quiet hum of electrical transformers and invertors delivering solar power to the grid. At night, when the sun is not available, there is no energy being created and no sound on the site. The solar panels are designed to absorb light, rather than reflect it, which mitigates glare concerns for adjoining properties. Additionally, proposed solar facilities will not adversely affect neighboring or adjacent properties since solar facilities are low-impact, passive development: they do not require water/sewer, they do not add children to schools, and once constructed, have less visitors than a typical single-family home.

The proposed project will be consistent with the land use pattern that exists in the area today as shown on the Jefferson County Future Land Use Map. Neighboring properties are being utilized for agriculture and forestry, which has similar characteristics to solar facilities. Solar facilities are a low-impact, passive development: they are quiet and they do not create the noise, dust, or odor as a traditional farm can. Solar panels are shorter in height than single family residences and agricultural buildings.

The project should not generate significant noise, dust, or odor, and will be setback 100-foot from adjacent properties and roads in order to provide adequate distancing from surrounding properties and as outlined in the solar ordinance. Within this 100-foot setback, a Type C Vegetative buffer will be included and will effectively shielding all solar components from view, and provide an aesthetically pleasing visual buffer. This Type-C Vegetative buffer will be 100% opaque, upon maturity, and will utilize existing vegetation as much as possible. Supplemental plantings will be native to Northern Florida, no invasive and non-native vegetation will be utilized.

Solar facilities have minimal impact of the local infrastructure. Apart from site construction, this solar facility will be managed remotely, with very little to no traffic associated with the site. Additionally, the proposed solar facility will not require water or sewer service during construction or during regular operation. This solar facility will not result in any additional infrastructure demands, due to the remote and isolated nature of this development. Jefferson County will not need to plan for any additional impact on local infrastructure, while still benefiting from an additional tax revenue and a reliable energy source.

The current site plan has been designed utilizing publicly available data for environmentally sensitive resources such as Federal Emergency Management Agency (FEMA) Floodplain Data, US Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Soil Survey, and elevation data. A wetland delineation has been completed for the proposed project and the results have been incorporated into the project layout and are included on the attached site plan. These wetland delineation files will be verified by the U.S. Army Corps of Engineers (USACE) and the Florida Department of Environmental Protection (FDEP). A tree survey has also been conducted by a certified forester, and the results are show on the project site plan.

Along with the appropriate local land use permits, an Environmental Resource Permit (ERP) will be required from the FDEP for the proposed project. To obtain the ERP, delineation and inventory of environmental and cultural features will be performed on the project area prior to construction. A detailed stormwater design will also need to be developed and approved with the ERP application. The applicant will conform to any ERP requirements, ensuring that environmental impacts are mitigated and natural resources are preserved according to Florida state requirements.

MAJOR DEVELOPMENT REVIEW CRITERIA

Pursuant to the LDC, any development categorized as a Special Exception shall be reviewed at appropriately noticed public hearing by the Planning Commission, which shall make a recommendation of approval, approval with conditions, or denial to the Board of County Commissioners who shall approve, approve with conditions, or deny the final development order.

Section 9.4.0, "Major Development Review Process", states that a completed and notarized application shall be signed by all owners of the subject properties or their agent(s). A completed application with the property owner signatures has been submitted with the Major Development application submittal.

Section 9.4.1. "Major Development Review Application & Submittal Requirements" states that the following information must be submitted at the time of application for each type of Major Development:

A. The applicant shall deliver the required mailing list and map of adjacent owners within 500 feet to the Planning Department as part of the application package.

A map and list has been included with this application.

B. Information for review of projects subject to Public Hearings shall be presented according to the following guidelines:

1. In subdivisions, the accuracy of the locations of significant natural features including, but not limited to, wetlands, floodplains, specimen and heritage trees, sinkholes/karst features, wildlife habitats, etc. shall be determined at the pre-application conference.

The applicant is not proposing a subdivision, however all significant natural features have been reflected on the plan set submitted with this application.

2. Statistical data should reflect final design criteria to the greatest extent possible; however:

a) Lot dimensions in large lot (3 acres or more) subdivisions may be accurate to the nearest 10 feet while smaller lots may be accurate to 5 feet.

b) The general size and location of stormwater management facilities may be indicated.

c) Road layout should be accurate within one half (½) the right of way width.

The applicant is not proposing subdivision of lots. Stormwater management facilities have been reflected on the plan. The applicant is not proposing new roads.

3. Non-residential and multi-family site plans are usually closer to final design; however, final grading and landscape plans are not required to depict concept plan information.

Noted.

- B. The applicant shall pay all required fees at the time of application submittal for the application to be accepted by Planning Department staff for processing to begin.*

The application fees have been paid for this application request.

9.4.4. MAJOR NON - RESIDENTIAL SUBDIVISIONS AND SITE PLANS

- A. A general description of development including the following:*

1. A general vicinity or location map drawn to scale (both stated and graphic) showing the position of the proposed development in the section(s), township and range, together with the principal roads, city limits, and/or other pertinent orientation information.

A map has been included on the plan set and an aerial map has also been provided reflecting proximity to the roads.

2. The name, address and telephone number of the owner(s) of the property. Where a corporation or company is the owner of the property, the name and address of the president and secretary of the entity shall be shown.

This information has been provided on the plan set submitted with the application.

3. Name, business address, and telephone number of those individuals responsible for the preparation of the drawing(s).

This information has been provided on the plan set submitted with the application.

4. General calculations of intensity, including provisions for open space areas and addressing the methods of protection, maintenance, and conservation of environmentally sensitive areas, the use of common open space areas, and any proposed common area amenities.

Site data including intensity and open space have been provided on the site plan. Open space areas have been reflected on the plan set including methods of protection by way of 100-foot buffer around the existing wetlands.

- C. A Boundary Survey prepared by a Florida Registered Land Surveyor depicting all property to be included in the proposed subdivision providing a meets and bounds legal description and indicating the total area of the property in acres.*

A boundary survey prepared by a FL Registered Land Surveyor has been included in the application submittal.

- D. A map of existing conditions depicting all existing improvements such as buildings, driveways or trails, wells, septic tanks and drain fields, topographic information, any significant or environmentally sensitive features such as wetlands, floodplains, water bodies, creeks, ravines, general indications of vegetative cover such as tree lines,*

and soil types. The map may be based on an aerial photograph provided all information is clearly depicted and legible.

The survey indicates all existing conditions and improvements. An aerial map has also been included as part of this application submittal.

D. Proposed Development Activities and Design

1. Generally

- a) Area and percentage of total site area to be covered by an impervious surface.*
- b) Grading plans specifically including perimeter grading.*
- c) Construction phase lines and schedule.*

This information has been provided on the plan set.

2. Buildings and Other Structures

- a) Building plan showing the location, dimensions, gross floor area, and proposed use of buildings.*
- b) Building setback distances from property lines, abutting right-of-way center lines, and all adjacent buildings and structures.*
- c) Minimum flood elevations of buildings within any 100-year flood plain.*

Although no buildings are proposed the site plan set

3. Location of the nearest available public water supply and wastewater disposal system and the proposed tie-in points, or an explanation of alternative systems to be used.

The proposed solar facility will not require water or sewer service during construction or during regular operation. A relatively small amount of water will be used during construction, as water is typically needed for dust control during construction, but given the wet climate and soils at the site, dust should not be a construction issue. Water will be needed on site for compaction purposes but will be very limited and can be brought on site via truck.

4. Exact locations of on-site and nearby existing and proposed fire hydrants.

Hydrants are not proposed for this site.

5. The location of any underground or overhead utilities, culverts and drains on the property and within one hundred (100) feet of the proposed development boundary.

All utilities, culverts and drains within and surrounding the property have been indicated on the plan set.

6. Streets, parking and loading

- a) The layout of all streets, bike paths, and driveways with paving and drainage plans and profiles showing existing and proposed elevations and grades of all public and private paved areas.*
- b) A parking and loading plan showing the total number and dimensions of proposed parking spaces, spaces reserved for handicapped parking, loading areas, proposed ingress and egress (including proposed public street modifications), and projected on-site traffic flow.*
- c) The location of all exterior lighting.*
- d) The location and specifications of any proposed garbage dumpsters.*
- e) Cross sections and specifications of all proposed pavement.*
- f) Typical and special roadway and drainage sections and summary of quantities.*

The proposed use will not require parking and no new streets are proposed. The project will have less visitors than a typical single-family home.

7. Tree removal and protection

- a) Indicate all protected trees to be removed and a statement of why they are removed.*
- b) Proposed changes in the natural grade and any other development activities directly affecting trees to be retained.*
- c) A statement of the measures to be taken to protect the trees to be retained.*
- d) A statement of tree relocations and replacements proposed.*

Pursuant to 2.11.4 Large Scale Solar Collector Systems, they are exempt from the requirements of LDC Section 5.3.6, Tree Protection and Native Vegetation, in the same manner as the operations of electrical utilities are exempt.

8. Landscaping

- a) Location and dimensions of proposed buffer zones and landscaped areas.*
- b) A general description of existing trees and plant materials to remain, areas where supplemental plantings may be necessary, and where additional trees and other plantings may be planted in buffer zones and landscaped areas. Final landscape design criteria will be required for construction permitting.*

Location and dimension of buffer zones have been indicated on the site plan set. Pursuant to solar ordinance 2020-091720-01, a 100-foot buffer has been proposed adjacent to all adjacent parcels with non-residential use and where existing wetlands are not located. A 200-foot buffer has been proposed adjacent to all adjacent parcels with an established residential use.

The landscape materials proposed in the buffers will be made up of the existing natural vegetation and supplemental plantings where needed. It is the intention of the applicant to keep as many existing trees in the buffers as possible. The buffers will be supplemented by new plantings if necessary to

ensure the buffers meet the Type C standard as required by Section 2.11.4. This Type-C Vegetative buffer will be eight (8) feet in height, 100% opaque, upon maturity, and will utilize existing vegetation as much as possible.

Supplemental plantings will be native to Northern Florida, no invasive and non-native vegetation will be utilized. Tree placement along perimeter buffers will be placed to allow an even, mature growth of the species' natural canopy. Midstory growth placement will provide coverage from ground cover to the lowest level of tree canopies. The lowest level of frontage tree canopies shall be fifteen feet (15') above the ground.

E. The adjacent owners list and map.

An adjacent owners list and map indicating property owners within 500-feet of the property has been included with the application.

SPECIAL EXCEPTIONS

Land Development Code Section 9.15 includes the necessary documentation and analysis required for the review and approval of a Special Exception as follows:

9.15.3. APPLICATION AND SUBMITTALS

A. Application.

Applications for special exception review shall be available at the Planning Department. A completed application shall be signed by all owners, or their agent(s), of the project subject to the proposal, and notarized. Signatures by other parties will be accepted only with notarized proof of authorization by owners. In case of corporate ownership, the authorized signature shall be accompanied by a notation of the signer's office in the corporation and embossed with the corporate seal.

A completed, signed application has been included as part of this request signed by the property owner and the agent of record, and notarized.

B. Submittals.

An application for special exception shall be submitted concurrently with a development plan and shall include all submittal requirements of this Code, including the performance standards listed below.

A development plan has been included as part of this special exception request meeting the submittal requirements of the LDC.

9.15.4. PERFORMANCE STANDARDS

A. Traffic Impact Study

Traffic impact studies shall, to the maximum extent possible, use the ITE report entitled: "Traffic Access and Impact Studies for Site Development: A Recommended Practice" (as may be amended) as a guide in the preparation of such studies; however, any deviation from this guide, especially as it relates to report format and contents, shall be approved by the Planning Official. Ingress and egress issues shall be addressed in the traffic impact study.

A traffic impact study has been included as part of the special exception request. The study is reliant on the ITE report noted. Ingress and egress has also been addressed in the study.

B. Drainage.

The site plan shall depict the improvements to be constructed to meet the requirements of the appropriate water management district and FDEP jurisdiction.

The plan set included as part of this special exception request depicts the required stormwater management plan that will be submitted for approval to the water management district and/or FDEP.

C. Water Quality.

Special Exception applications shall demonstrate compliance with the requirements of this Code regarding water quality issues. In addition, the applications shall comply with any state provisions related to water quality and monitoring including, but not limited to 17-25 and 17-61, F.A.C. and any amendments thereto.

The stormwater management plans included as part of this special exception request demonstrates compliance with the requirements of this Code regarding water quality and the state provisions related to water quality and monitoring.

D. Visual Appearance.

All proposed projects may be required to provide additional buffering where necessary to provide mitigation for incompatibilities with adjacent properties.

The applicant is proposing to maintain the existing, natural vegetation in all perimeter areas of the subject property to provide screening to the adjacent properties as well as along the surrounding roadways. Pursuant to the Solar Ordinance the site plan has been designed with 100-foot Type C buffer where the property borders vacant land or land in non-residential use. Where the solar field borders an established residential use, or residential property, a 200-foot buffer area has been provided. The site plan has also incorporated 100-foot buffer along the roadway as required by the Solar Ordinance.

E. Mitigation and Avoidance of Environmentally Sensitive Lands.

Where environmentally sensitive lands are encountered, such lands shall be identified and the plans for development shall indicate the methods to be utilized to meet the requirements of Article Four of this Code. Special exception projects shall be designed in a manner to avoid impacting environmentally sensitive lands. Some applications, especially involving commercial outdoor recreational activities, may have activities that take place wholly or partially in environmentally sensitive lands as allowable uses with some permissible by FDEP or the water management district(s), with or without a permit, depending on the proposed use. If impact is unavoidable, compensatory mitigation may be required by the permitting agency.

The site plan for this special exception request has been designed in a manner to avoid impacting environmentally sensitive lands. There are several large spans of land area encumbered by existing wetlands. A total of 179.54 acres has been identified as wetland areas on the site. These areas have been indicating on the plan set and will not be impacted.

F. Noise.

As a condition for approval of the special exception, a statement shall be incorporated as part of the development order to the effect that activities sound levels emanating from the site shall not exceed a level of 55 decibels between 10 p.m. and 6 a.m.

The only sound produced from the proposed solar facility will occur during daylight hours with the quiet hum of electrical transformers and invertors delivering solar power to the grid. At night, when the sun is not available, there is no energy being created or delivered, and therefore no sound or noise will be heard on the site during the hours of 10 pm and 6 am.

G. Air Quality.

All sources of air pollution shall comply with rules set forth by the Environmental Protection Agency (Code of Federal Regulations, Title 40), and the Florida Department of Environmental Regulations (Chapter 17-2, F.A.C.).

The proposed solar facility will comply with all rules set forth by the EPA the FDEP concerning air quality. Solar use, generally speaking, is a source of power generation that is least impactful to the quality of air.

H. Compatibility.

The applicant shall identify all surrounding land uses and structures within five hundred (500) feet of the proposed development as to which the special exception is requested. Uses which may, in the judgment of the County, come into conflict over time, or which may, in the judgment of the County, have an adverse effect on property values, may be regarded as incompatible. The County may deny any special exception use, which the County determines, is potentially incompatible with adjacent and surrounding land uses, if such potential incompatibility is not adequately mitigated.

The site plan included with the special exception request has identified the surrounding property owners on the plan view and in the property owner table. There are two adjacent parcels with an established single family residential use, per the Jefferson County Property Appraiser data. The parcels are indicated as parcels #23 and #24 on the site plan. A 200-foot setback has been indicated on the site plan adjacent to both perimeters of these parcels. In addition to this setback the site plan has been designed to avoid impact to a large wetland area adjacent to this parcel as well. The closest panel to this parcel is over 1,000 feet from the property line.

SOLAR ORDINANCE

The Board of County Commissioners (BOCC) adopted a new Solar Ordinance in 2020, ORDINANCE NO. 2020-091720-01, that recognized solar facilities in the County's Land Development Code. Per the newly adopted ordinance, Section 2.2.1 "Agricultural Land Use Districts: AG-20, AG-5 and AG-3" and Section 2.2.5 "Industrial" district both allow Solar Photovoltaic Collector Systems with Major Development and Special Exception approval.

In addition to the land use district amendments to allow for Solar Photovoltaic Collector Systems the LDC was also updated to include criteria and requirements for both small and large scale Solar Photovoltaic Collector Systems. The proposed development will be a large-scale solar collector system and will be required to follow the requirements as follows:

2.11.4 LARGE SCALE SOLAR COLLECTOR SYSTEMS

1. Large Scale Solar Collection Systems are only allowed in Ag-20, Ag-5, or Industrial Zoning Districts and shall be subject to review as a Major Development pursuant to LDC Section 9.4.0 and Special Exception pursuant to LDC Section 9.15.0.

The subject property is within both the AG-5 and Industrial zoning districts and is therefore allowed to be developed as a large-scale solar collector system.

2. In an order to protect the rural and agricultural lands of the County, the maximum size of one Large Scale Solar Collector System is 640 Utilized acres, equal to one square mile. The County is also limiting the total Utilized acreage of all Large Scale Solar Collectors to 2,560 acres or 4 square miles. The determination of the maximum allowable size of a system hereunder shall be based on the footprint of acreage actually utilized by the solar panels and associated structures, and shall not include any areas not actually occupied such as setbacks, buffers, wetlands, and areas voluntarily avoided

The total parcel area included for the project is approximately 676.10 acres, however the fenced solar collector system project area only includes 272.84 acres.

3. Setbacks for Roadways (classifications based on LDC Section 5.4.0.A)

- i. Arterial and Major Collector Roadways – 100feet.*
- ii. Minor Collector Roadways – 100feet.*
- iii. Local Roads – 100feet.*
- iv. Scenic, Canopy, Heritage Roads-200feet*

The site plan has been designed to meet all required setbacks along the roadways of 100 feet. The property is not adjacent to scenic, canopy or heritage roads.

4. Buffering

- i. All plans submitted shall portray a 100ft. Type C buffer, where the project property borders vacant land or land in non-residential use in accordance with LDC Table 5.3.4.C Landscape Buffer Standards.*
- ii. Where the Solar Field borders an established residential use or residential property, twice the distance of the standards established in Subsection 4 i above is required.*
- iii. The buffers can consist of natural vegetation, but may also require additional planting to meet the Type C Standard. All planted buffers need to be native to North Florida and spaced so as to allow for mature growth.*
- iv. All plans submitted shall portray Type C buffer along all roadways.*

The plan set submitted has been designed to incorporate buffers along all boundaries where existing wetlands are not located. A Type C 100-foot landscape buffer has been provided adjacent to any parcel that is vacant or has a non-residential use, and a Type C 200-foot landscape buffer has been provided adjacent to

parcels with established residential use or residential property. Both buffer types will be made up of existing natural vegetation.

5. Lighting and Glare

- i. Lighting is allowed for maintenance structures only and must not shine outward into passing traffic, nearby structures, or adjacent property not under the ownership or control of the operator.*
- ii. Solar voltaic collector system components shall be designed with an anti-reflective coating or, in the alternative, shall otherwise be designed to avoid producing glare that would constitute a nuisance to occupants of neighboring properties, aircraft, or persons traveling on adjacent or nearby roads.*

The solar voltaic collector system for this site will meet the lighting and glare regulations as listed above. The solar panels are designed to absorb light, rather than reflect it, which mitigates glare concerns for adjoining properties. Although the project is not located within proximity to an airport, its important to note that the FAA established the interim policy for Solar Energy System Projects on Federally Obligated Airports on October 23, 2013, which this project meets or exceeds.

6. All outdoor storage of any materials and equipment including, but not limited to, solar panels and support structures not in operation must be located on the inside of the buffered area.

All outdoor storage for this facility will be located on the inside of the buffer areas as required.

7. Environmental Standards

- i. See LDC Section 4.4.0 for required setbacks from streams, waterbodies and jurisdictional wetlands. Setbacks shall be based on a jurisdictional determination boundary approved by FDEP or the appropriate water management district.*

The plan set included with this application reflects the required 100-foot setback from all jurisdictional wetlands as required by FDEP and the water management district.

- ii. Large Scale Solar Collector Systems shall be exempt from the requirements of LDC Section 5.3.6, Tree Protection and Native Vegetation, in the same manner as the operations of electrical utilities are exempt.*

Acknowledged.

8. Security - If a security fence is provided around some or all of the perimeter of the facility, it shall not be greater than 8 feet in height.

The site plan has indicated a fence surrounding the solar array with a maximum of six (6) feet in height with one foot of barbed wire. See page C-600 of the plan set for more detail.

9. Low Impact Development - The County encourages the dual use of agricultural opportunities such as, but not limited to, apiaries to provide pollinator benefits to nearby crops and/or vegetation and grazing to reduce vegetation maintenance costs.

The applicant will consider the dual use of the property as the site design will allow.

10. Damage - Damaged solar panels shall be removed, repaired or replaced within ninety (90) days of the damage, with one extension at the request of the operator or landowner. The ground shall at all times remain free of debris from damaged solar panels.

The applicant will comply with this requirement.

11. Abandonment

A solar collection system shall be considered abandoned if the system ceases to generate electricity for a period of twelve (12) consecutive months. Reports of electrical power production shall be provided to the County upon request. An abandoned solar collection system shall be decommissioned and removed within one hundred eighty (180) days from the time it is deemed abandoned as provided herein. The operator may request an extension of time in which to return the solar collection facility to operation, which shall be supported by a plan and proposed timeline for resuming operation, provided however, that no extension of time shall be granted for more than a total of twenty four (24) months past the above date for decommissioning due to abandonment.

The applicant will comply with this requirement.

12. Decommissioning

Decommissioning and removal of the solar collection facility shall be the responsibility of the operator/owner upon abandonment, or upon revocation of the major development and special exception approval. All operators/owners shall comply with the following:

i. As part of the development review application, a decommissioning plan shall be prepared and submitted which depicts the final site conditions after the solar collection facility has been removed from the property. Decommissioning plans shall require removal of all solar panels, electrical equipment, poles, piles, foundations, and conduits (above and below ground). In the alternative, poles, piles, foundations and other support infrastructure can be shown as remaining in the decommissioning plan if consistent with the planned future beneficial use of the property, as may also be consistent with the allowed uses in the Land Development Code. The decommissioning plan shall include an engineer's estimate, signed and sealed, of the cost of fully implementing the decommissioning plan. The estimated cost of implementing the decommissioning plan shall not be reduced based on cost of removal of poles, piles, foundations or other support infrastructure that are proposed to remain. The estimated cost of implementing the decommissioning plan may be reduced based on the salvage value of any materials of equipment only if such salvage is also reassessed as part of periodic update of the engineer's estimate of costs for

implementing the decommissioning plan. A new/updated engineer's estimate of costs for implementing the decommissioning plan shall be prepared and submitted to the Planning Department no less often than once every five (5) years following the original approval date. If, as part of such new/updated engineer's estimate, it is determined that the salvage value has decreased, the amount of such decrease shall be accounted for in the cost of decommissioning and in the evidence of financial responsibility provided under Subsection ii herein below. Thereafter, such salvage value shall be reassessed every two (2) years, and any additional reductions in salvage value accounted for in the evidence of financial responsibility.

ii. Evidence of financial responsibility to implement the decommissioning plan shall be submitted as part of the original application, and shall be furnished no less often than once every five (5) years thereafter, upon change in the financial responsibility form/mechanism relied upon, or as otherwise required by this code. Evidence of financial responsibility shall be in the form of insurance, surety bond, cash bond, trust fund or letter of credit. The County may require a change in the financial responsibility form/mechanism relied upon should it come to the attention of the County that the evidence of financial responsibility as previously submitted has become deficient. Evidence of financial responsibility shall be in the amount of one hundred fifty percent (150%) of the engineer's estimated cost to implement the decommissioning plan.

iii. Any transfer of the County approval of a Large Scale Solar Collection System issued hereunder shall not be deemed complete unless and until the transferee has demonstrated financial responsibility for decommissioning of the facility in the same manner as is required for initial approval.

A decommission plan has been provided with this application including the requirements listed in this section of the code.

13. Professional Services

In the event that the County deems it necessary to retain the services of a professional to review all or any part of the application for solar collection system approval, or any required periodic update thereto, the applicant shall be responsible for payment of the reasonable costs incurred by the County. Processing of the application, or application update, shall not be completed until all such costs then due to the County have been paid in full.

The applicant is in agreement with this requirement.

OWNER'S CONSENT FORM

Project: Drifton PV1

Submittal Date: _____

OWNER'S AUTHORIZATION

I/we HEREBY GIVE MY CONSENT to Ecoplexus Inc. (by and through its affiliates, officers, directors, managers, employees and agents) to act on my/our behalf, to submit or have submitted any application and all required material and documents, and to attend and represent me/us at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I/we hereby give consent to the party designated above to agree to all terms and conditions that may arise as part of the approval of this application.

I/we hereby certify that I/we have full knowledge of the property's anticipated use as a solar power generation facility and that I/we have an ownership interest in the subject of this application. I/we understand that any false, inaccurate or incomplete information provided by me/us or my/our agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I/we acknowledge that additional information may be required to process this application. I/we further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Lloyd W. Chamberlin, III
Signature of Owner

Lloyd W. Chamberlin, III
Print Name

10-29-2021
Date

Property Tax ID Numbers:
07- 1N-5E-0000-0010-0000,
08- 1N-5E-0000-0011-0000,
12-1N-4E-0000-0014-0000.

Landowner Address:
13338 Golf Crest Circle,
Tampa, FL 33618

Landowner Phone Number:
813-962-7843

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department, and will not be returned.

[Signature]
Signature of Ecoplexus Inc.

Erik Stuebe
Print Name

11-3-21
Date



Plotted By: Kechonsky, Steven, Sheet: S-01, DIFTON PV1 SOLAR FACILITY, Layout: C-100, COVER SHEET, November 04, 2021, 08:03:59am, K:\WPB_Development\142850002 - Drifton PV1 Solar\2 Design\CAD\Drawings\C-100 COVER SHEET.dwg
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PRELIMINARY DESIGN PLANS

DRIFTON PV1 SOLAR FACILITY

JEFFERSON COUNTY, FLORIDA

SECTIONS 7, 8, 9, 17, & 18, TOWNSHIP 1 NORTH, RANGE 5 EAST

SECTION 12, TOWNSHIP 1 NORTH, RANGE 4 EAST

NOVEMBER 2021



PROJECT TEAM

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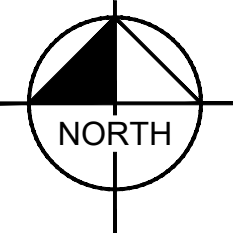
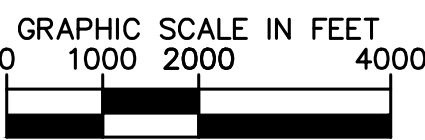
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PROJECT MANAGER
BRADY WALKER
KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FL 33411
561-840-0811

PROJECT LOCATION



LOCATION MAP



Sheet List Table	
Sheet Number	Sheet Title
C-100	COVER SHEET
C-101	GENERAL NOTES
C-200	SITE PLAN – OVERALL
C-201	SITE PLAN
C-202	SITE PLAN
C-203	SITE PLAN
C-204	SITE PLAN
C-205	TREE DISPOSITION PLAN
C-300	EROSION CONTROL PLAN
C-301	EROSION CONTROL DETAILS
C-400	STORMWATER MANAGEMENT PLAN – OVERALL
C-401	STORMWATER MANAGEMENT PLAN
C-402	STORMWATER MANAGEMENT PLAN
C-403	STORMWATER MANAGEMENT PLAN
C-404	STORMWATER MANAGEMENT PLAN
C-500	PRE-DEV DRAINAGE MAP
C-501	POST-DEV DRAINAGE MAP
C-600	DETAILS

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 2 WORKING DAYS BEFORE YOU DIG

IT'S THE LAW! DIAL 811

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

DRIFTON PV1 SOLAR FACILITY
PREPARED FOR
FRESH AIR ENERGY II, LLC

MUNICIPALITY

SHEET NUMBER
C-100

COVER SHEET

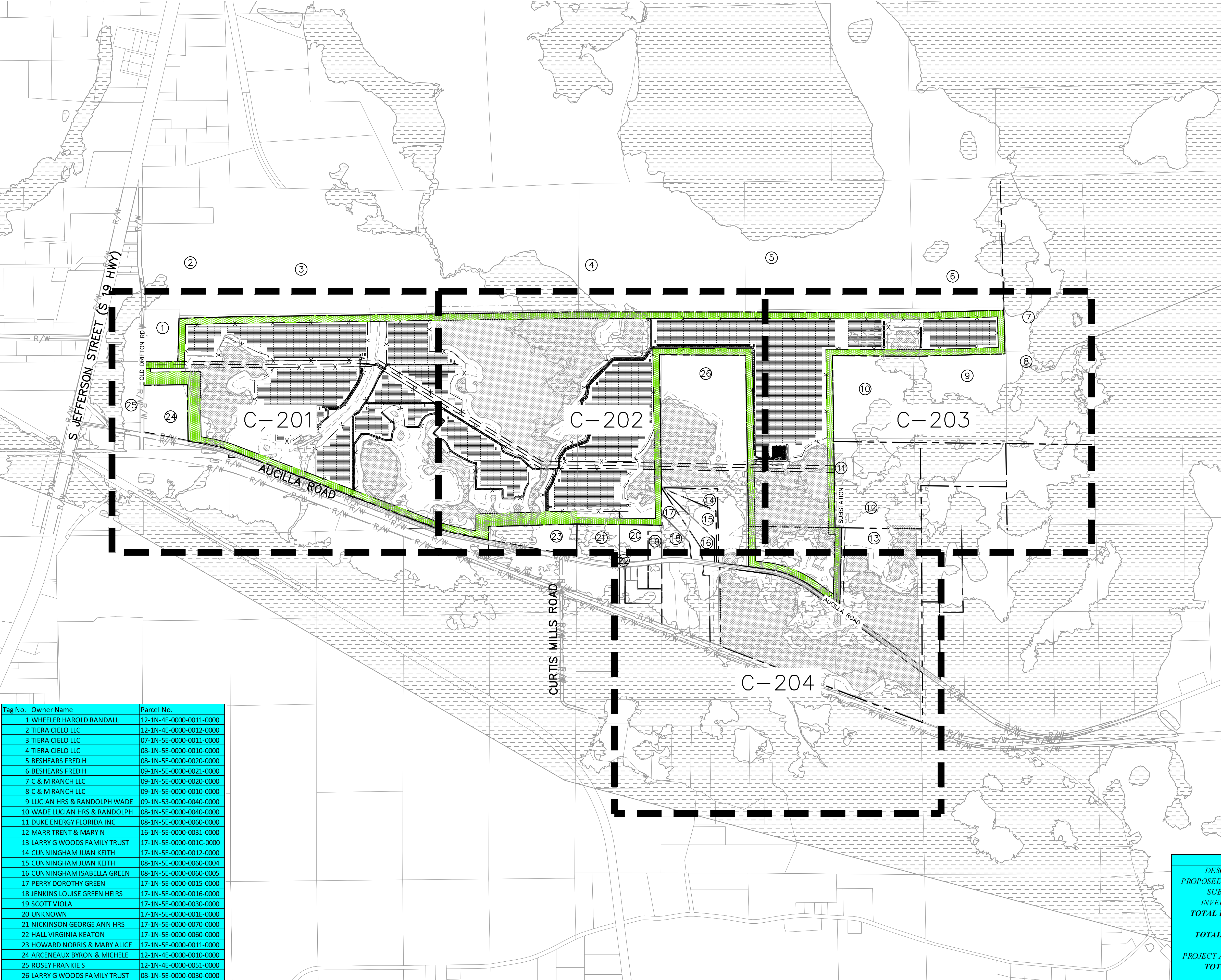
KHA PROJECT
142850002
DATE
11/1/2021
SCALE
AS SHOWN
DESIGNED BY
SJK
DRAWN BY
DATE
LIC PROF 1
FL LICENSE NUMBER
LIC PROF 1 #

LICENSED PROFESSIONAL

Kimley-Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411
PHONE: 561-845-0665 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM

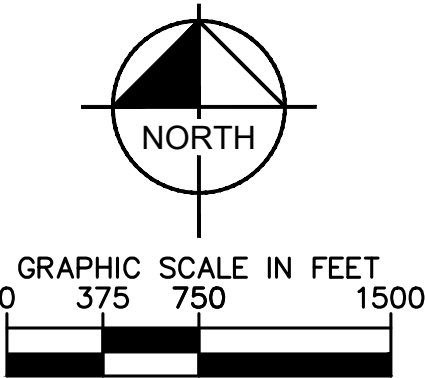
No.	REVISIONS	DATE	BY

Tag No.	Owner Name	Parcel No.
1	WHEELER HAROLD RANDALL	12-1N-4E-0000-0011-0000
2	TIERA CIELO LLC	12-1N-4E-0000-0012-0000
3	TIERA CIELO LLC	07-1N-5E-0000-0011-0000
4	TIERA CIELO LLC	08-1N-5E-0000-0010-0000
5	BESHEARS FRED H	08-1N-5E-0000-0020-0000
6	BESHEARS FRED H	09-1N-5E-0000-0021-0000
7	C & M RANCH LLC	09-1N-5E-0000-0020-0000
8	C & M RANCH LLC	09-1N-5E-0000-0010-0000
9	LUCIAN HRS & RANDOLPH WADE	09-1N-53-0000-0040-0000
10	WADE LUCIAN HRS & RANDOLPH	08-1N-5E-0000-0040-0000
11	DUKE ENERGY FLORIDA INC	08-1N-5E-0000-0050-0000
12	MARR TRENT & MARY N	16-1N-5E-0000-0031-0000
13	LARRY G WOODS FAMILY TRUST	17-1N-5E-0000-001C-0000
14	CUNNINGHAM JUAN KEITH	17-1N-5E-0000-0012-0000
15	CUNNINGHAM JUAN KEITH	08-1N-5E-0000-0060-0004
16	CUNNINGHAM ISABELLA GREEN	08-1N-5E-0000-0060-0005
17	PERRY DOROTHY GREEN	17-1N-5E-0000-0015-0000
18	JENKINS LOUISE GREEN HEIRS	17-1N-5E-0000-0016-0000
19	SCOTT VIOLA	17-1N-5E-0000-0030-0000
20	UNKNOWN	17-1N-5E-0000-001E-0000
21	NICKINSON GEORGE ANN HRS	17-1N-5E-0000-0070-0000
22	HALL VIRGINIA KEATON	17-1N-5E-0000-0060-0000
23	HOWARD NORRIS & MARY ALICE	17-1N-5E-0000-0011-0000
24	ARCENEUX BYRON & MICHELE	12-1N-4E-0000-0010-0000
25	ROSEY FRANKIE S	12-1N-4E-0000-0051-0000
26	LARRY G WOODS FAMILY TRUST	08-1N-5E-0000-0030-0000



DESCRIPTION	SQ. FT.	ACREAGE	% OF SITE
PROPOSED ACCESS PATHS	297,827	6.84	1.01
SUBSTATION	40,000	0.92	0.14
INVERTER PADS	11,999	0.02	0.003
TOTAL IMPERVIOUS	349,826	7.78	1.15
TOTAL PERVIOUS	3,233,454	668.32	98.85
PROJECT AREA (FENCED)	11,841,537	272.84	40.21
TOTAL AREA	3,272,323	676.10	-
EXISTING WETLANDS	868,953	179.54	26.55
PROPOSED WETLAND IMPACTS	0	0	0

<u>LEGEND</u>	
	EXISTING ROAD
	PROPERTY LINES
	100' PROPERTY SETBACK
	PROJECT BOUNDARY
	RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING BUILDING
	EXISTING RAILROAD
	EXISTING OVERHEAD POWER LINES
	EXISTING CABLE LINES
	EXISTING VEGETATION
	FEMA ZONE A FLOOD ZONE
	DELINEATED WETLAND
	50' WETLAND SETBACK
	PROPOSED GATE
	EXISTING CONCRETE POWER POLE
	EXISTING WOOD POWER POLE
	PROPOSED FENCE
	PROPOSED GRAVEL ROAD
	PROPOSED SUBSTATION
	PROPOSED LANDSCAPE BUFFER (EXISTING NATURAL BUFFER OR SUPPLEMENTED TYPE C BUFFER)
	PROPOSED STORMWATER SWAL



DRIFTON PV1 SOLAR
FACILITY
PREPARED FOR
FRESH AIR ENERGY II, LLC
MUNICIPALITY OF

SITE PLAN - OVERALL

LICENSED PROFESSIONAL

KHA PROJECT

DATE 11/1/2000

11/1/2021

SCALE AS SHOWN

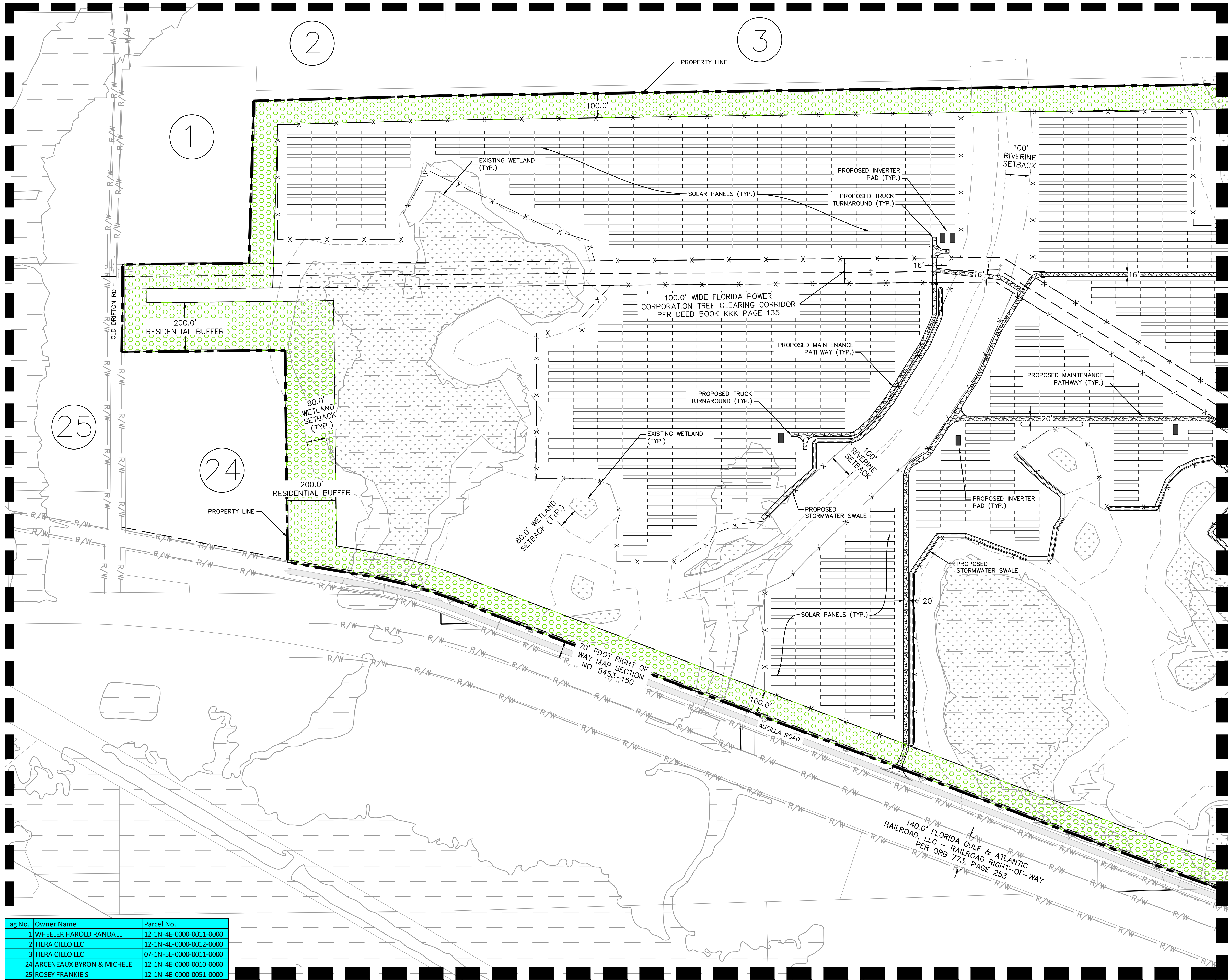
FL LICENSE NUMBER

LIC PROF 1 #

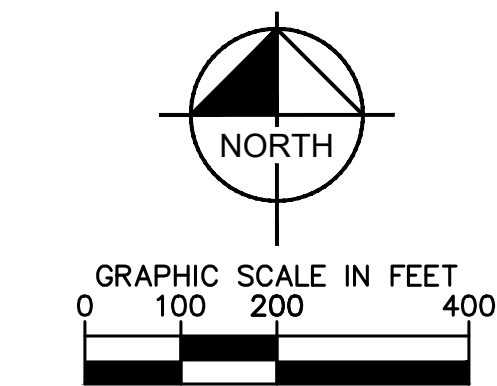
Kimley»»Horn















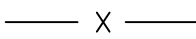

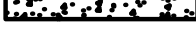

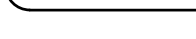



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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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24	ARCENEUX BYRON & MICHELE	12-1N-4E-0000-0010-0000
25	ROSEY FRANKIE S	12-1N-4E-0000-0051-0000



LEGEND	
	EXISTING ROAD
	PROPERTY LINES
	100' PROPERTY SETBACK
	PROJECT BOUNDARY
	RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING BUILDING
	EXISTING RAILROAD
	EXISTING OVERHEAD POWER LINES
	EXISTING CABLE LINES
	EXISTING VEGETATION
	FEMA ZONE A FLOOD ZONE
	DELINEATED WETLAND
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	EXISTING CONCRETE POWER POLE
	EXISTING WOOD POWER POLE
	PROPOSED FENCE
	PROPOSED GRAVEL ROAD
	PROPOSED SUBSTATION
	PROPOSED LANDSCAPE BUFFER (EXISTING NATURAL BUFFER OR SUPPLEMENTED TYPE C BUFFER)
	PROPOSED STORMWATER SWALE

DRIFTON PV1 SOLAR
FACILITY
PREPARED FOR
FRESH AIR ENERGY II, LLC
MUNICIPALITY OF
FRESH AIR

SHEET NUMBER
C-201

SITE PLAN

LICENSED PROFESSIONAL

TABLE 1
continued

FL LICENSE NUMBER

CHECKED BY _____

DATE: _____

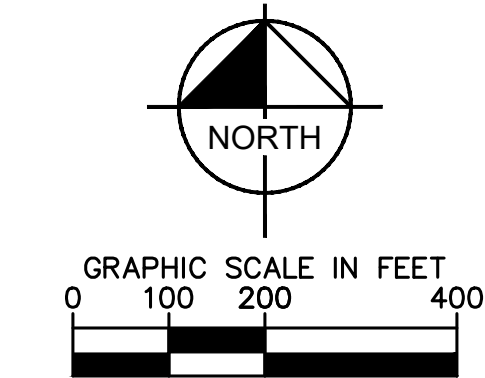
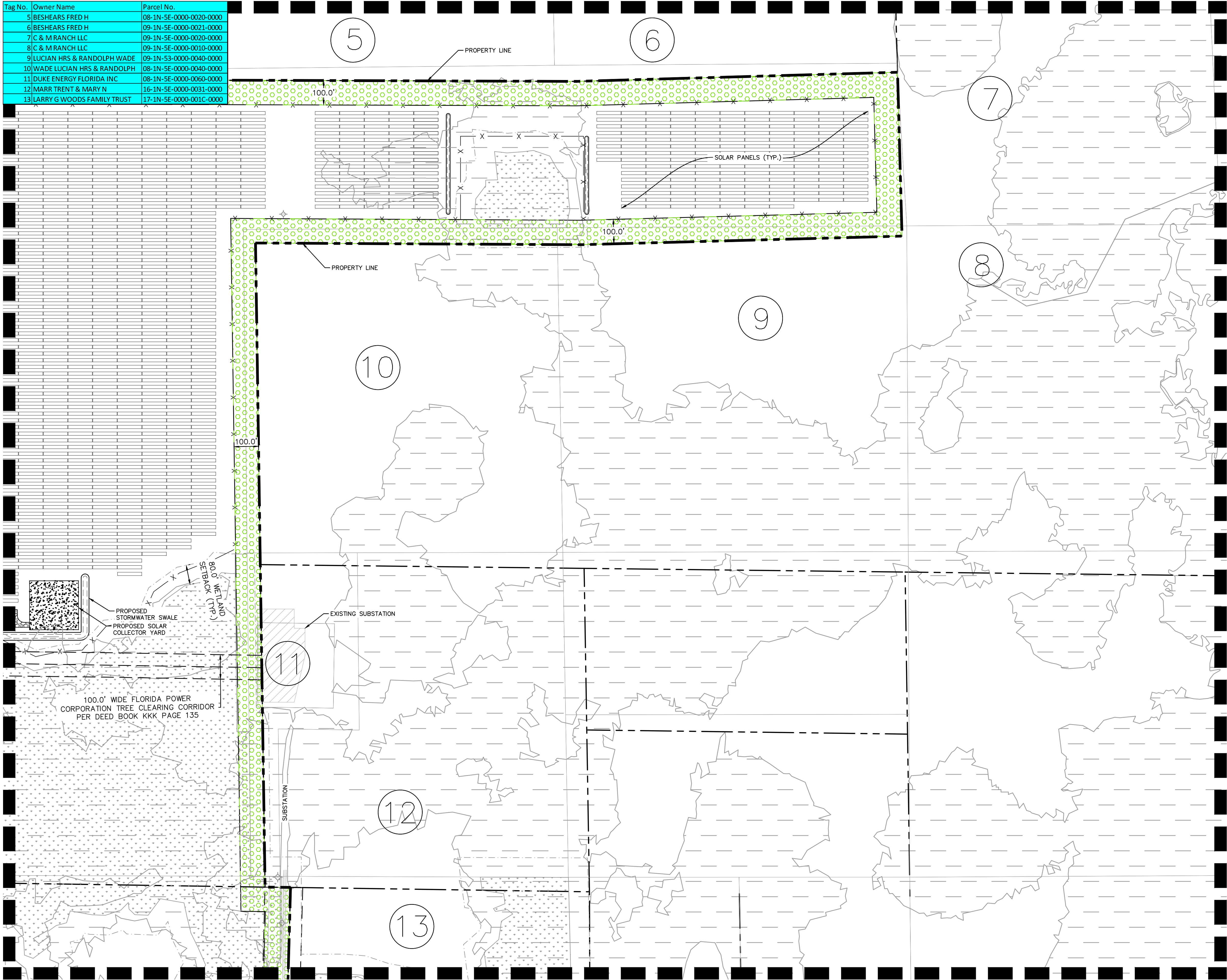
Kimley»»Horn

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PHONE: 561-845-0665 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM REGISTRY NO. 696

No.	REVISIONS	DATE	BY
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Tag No.	Owner Name	Parcel No.
5	BESHEARS FRED H	08-1N-5E-0000-0020-0000
6	BESHEARS FRED H	09-1N-5E-0000-0021-0000
7	C & M RANCH LLC	09-1N-5E-0000-0020-0000
8	C & M RANCH LLC	09-1N-5E-0000-0010-0000
9	LUCIAN HRS & RANDOLPH WADE	09-1N-53-0000-0040-0000
10	WADE LUCIAN HRS & RANDOLPH	08-1N-5E-0000-0040-0000
11	DUKE ENERGY FLORIDA INC	08-1N-5E-0000-0060-0000
12	MARR TRENT & MARY N	16-1N-5E-0000-0031-0000
13	LARRY G WOODS FAMILY TRUST	17-1N-5E-0000-001C-0000

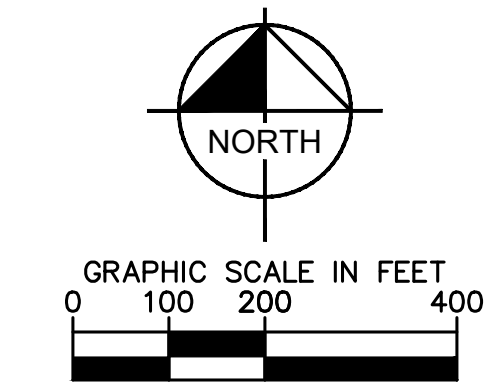
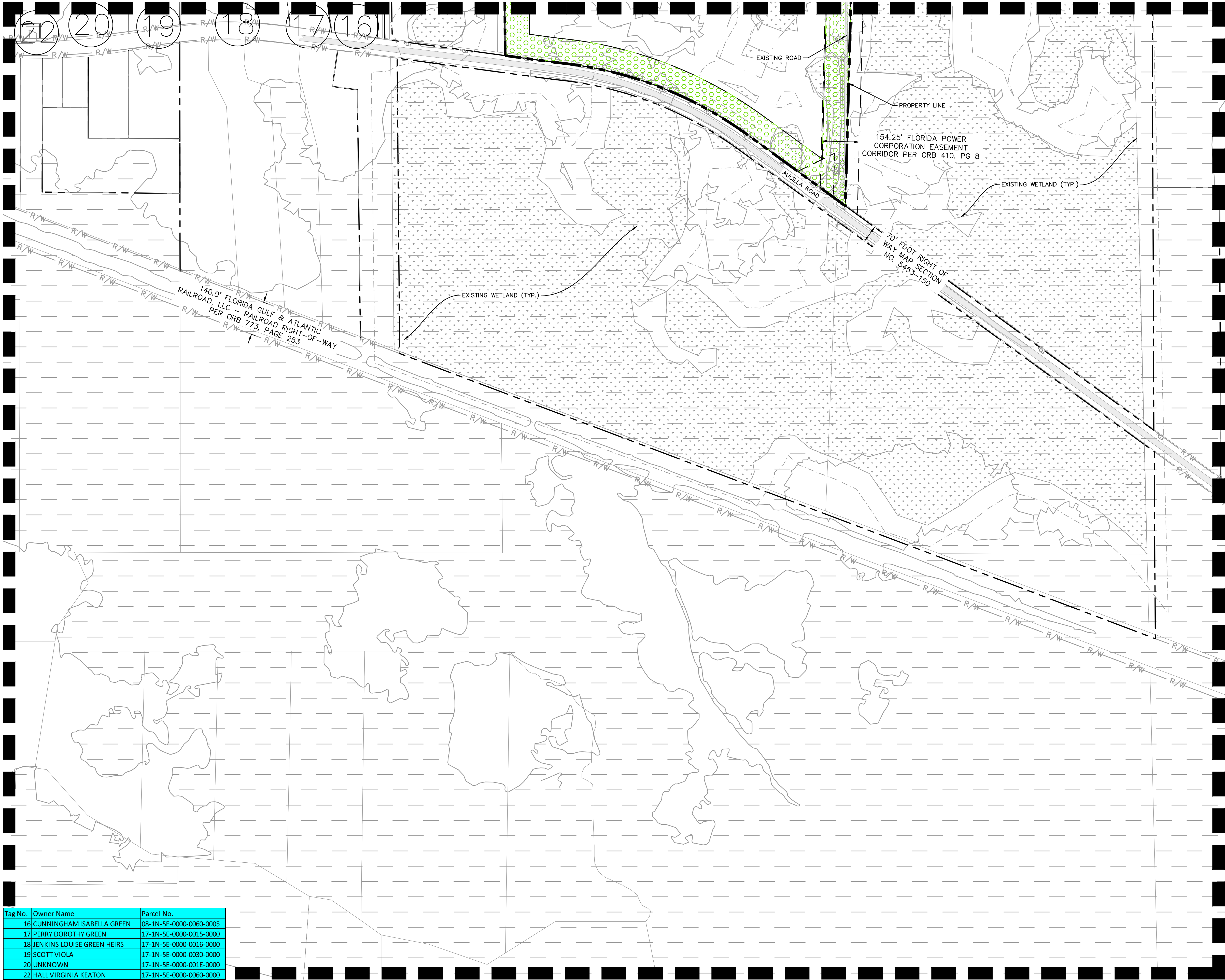


- LEGEND**
- EXISTING ROAD
 - PROPERTY LINES
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 - PROJECT BOUNDARY
 - RIGHT-OF-WAY
 - EXISTING EASEMENT
 - EXISTING BUILDING
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KHA PROJECT 142850002		DATE 11/1/2021		SCALE AS SHOWN		DESIGNED BY SJK		DRAWN BY		CHECKED BY		DATE		BY	
LIC PROFF 1		LIC PROFF 1		FL LICENSE NUMBER		LIC PROFF 1 #		DATE		REVISIONS		No.		No.	
Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411 PHONE: 561-845-0665 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM															
DRIFTON PV1 SOLAR FACILITY PREPARED FOR FRESH AIR ENERGY II, LLC MUNICIPALITY FL															
SHEET NUMBER C-203															

Plotted: B:\Kochonsky, Steven_Sheet_Sat\DRIFTON_PV1 SOLAR FACILITY_Layout\C-204 SITE PLAN November 04, 2021 08:05:05pm K:\WPB_DeServices\142850002 - Drifton_PV1 Solar_V2 Design\CAD\Plotsheets\C-200 SITE PLAN.dwg
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Tag No.	Owner Name	Parcel No.
16	CUNNINGHAM ISABELLA GREEN	08-1N-5E-0000-0060-0005
17	PERRY DOROTHY GREEN	17-1N-5E-0000-0015-0000
18	JENKINS LOUISE GREEN HEIRS	17-1N-5E-0000-0016-0000
19	SCOTT VIOLA	17-1N-5E-0000-0030-0000
20	UNKNOWN	17-1N-5E-0000-001E-0000
22	HALL VIRGINIA KEATON	17-1N-5E-0000-0060-0000



- LEGEND**
- EXISTING ROAD
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DRIFTON PV1 SOLAR FACILITY
PREPARED FOR
FRESH AIR ENERGY II, LLC

SHEET NUMBER
C-204

MUNICIPALITY
FL

SITE PLAN

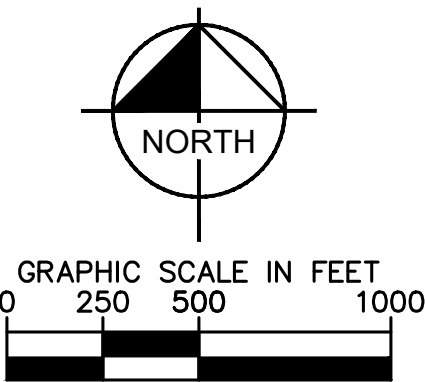
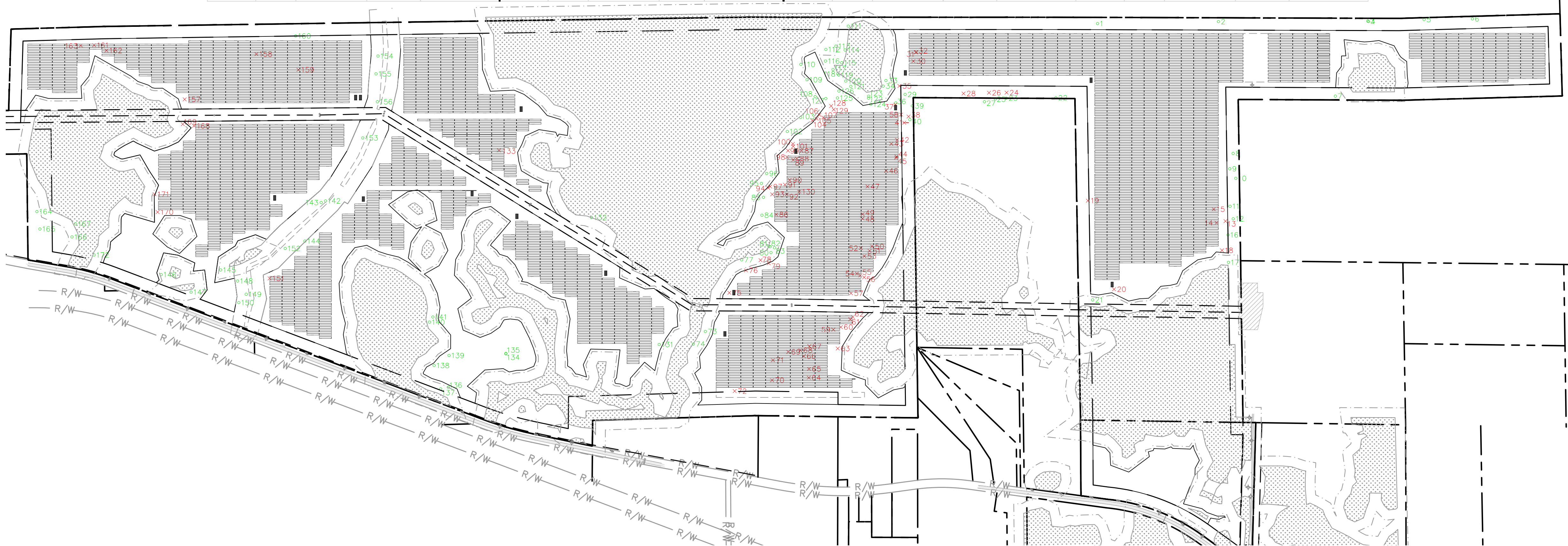
KHA PROJECT 142850002	LICENSED PROFESSIONAL
DATE 11/1/2021	LIC PROF 1
SCALE AS SHOWN	FL LICENSE NUMBER
DESIGNED BY SJK	LIC PROF 1 #
DRAWN BY	DATE
CHECKED BY	

Kimley»Horn

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PHONE: 561-845-0665 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM REGISTRY NO. 696

No.	REVISIONS	DATE	BY

Tree ID #	Height	DBH (inches)	Species	Status	Tree ID #	Height	DBH (inches)	Species	Status	Tree ID #	Height	DBH (inches)	Species	Status	Tree ID #	Height	DBH (inches)	Species	Status
1	59.236	70	Live Oak	To Remain	51	41.18	60	Live Oak	To Be Removed	101	52.936	43	Live Oak	To Be Removed	151	49.54	43	Live Oak	To Be Removed
2	38.32	38	Cherry	To Remain	52	48.955	43	Live Oak	To Be Removed	102	50.256	56	Live Oak	To Remain	152	52.48	40	Live Oak	To Remain
3	29.82	57	Live Oak	To Remain	53	48.01	51	Live Oak	To Be Removed	103	53.5	40	Live Oak	To Remain	153	50.77	40	Live Oak	To Remain
4	52.845	40	Water Oak	To Remain	54	54.81	38	Live Oak	To Be Removed	104	46	43	Live Oak	To Be Removed	154	56.78	56	Live Oak	To Remain
5	39.96	55	Live Oak	To Remain	55	60.044	53	Live Oak	To Be Removed	105	36.642	36	Live Oak	To Be Removed	155	52.92	38	Water Oak	To Remain
6	48.4	40	Live Oak	To Remain	56	6.84	54	Live Oak	To Be Removed	106	38.49	38	Live Oak	To Be Removed	156	40.65	40	Water Oak	To Remain
7	38.918	64	Live Oak	To Remain	57	52.85	58	Live Oak	To Be Removed	107	51.67	50	Live Oak	To Be Removed	157	23.36	38	Live Oak	To Be Removed
8	29.645	36	Live Oak	To Remain	58	42.98	36	Live Oak	To Be Removed	108	31.22	46	Live Oak	To Remain	158	39.15	57	Sweetgum	To Be Removed
9	59.636	61	Live Oak	To Remain	59	42.64	68	Live Oak	To Be Removed	109	41.88	51	Live Oak	To Remain	159	33.41	38	Live Oak	To Be Removed
10	41.97	45	Live Oak	To Remain	60	46.93	36	Live Oak	To Be Removed	110	25.01	44	Live Oak	To Remain	160	53.778	60	Live Oak	To Remain
11	35.85	36	Live Oak	To Remain	61	57.18	45	Live Oak	To Be Removed	111	39.43	37	Live Oak	To Remain	161	57.02	48	Live Oak	To Be Removed
12	32.81	43	Live Oak	To Remain	62	38.918	53	Live Oak	To Be Removed	112	32.14	39	Live Oak	To Remain	162	54.2	63	Live Oak	To Be Removed
13	34.84	36	Live Oak	To Be Removed	63	56.35	65	Live Oak	To Be Removed	113	37.618	53	Live Oak	To Remain	163	41.42	52	Live Oak	To Be Removed
14	37.491	57	Live Oak	To Be Removed	64	36.022	37	Live Oak	To Be Removed	114	21.2	38	Live Oak	To Remain	164	33.82	44	Live Oak	To Remain
15	53.04	50	Live Oak	To Be Removed	65	36.85	61	Live Oak	To Be Removed	115	38.35	55	Live Oak	To Remain	165	34.18	38	Live Oak	To Remain
16	36.29	39	Live Oak	To Remain	66	28.7	48	Live Oak	To Be Removed	116	25.21	43	Live Oak	To Remain	166	38.089	48	Live Oak	To Remain
17	40.02	36	Live Oak	To Remain	67	61.467	55	Live Oak	To Be Removed	117	44.93	46	Live Oak	To Remain	167	54.74	52	Live Oak	To Remain
18	39.5	58	Live Oak	To Be Removed	68	40.356	54	Live Oak	To Be Removed	118	21.378	78	Live Oak	To Remain	168	53.17	38	Sweetgum	To Be Removed
19	51.64	37	Live Oak	To Be Removed	69	48.56	45	Live Oak	To Be Removed	119	27.7	50	Live Oak	To Remain	169	80.09	36	Water Oak	To Be Removed
20	26.94	36	Live Oak	To Be Removed	70	33.2	37	Live Oak	To Be Removed	120	42.218	37	Live Oak	To Remain	170	35.29	41	Live Oak	To Be Removed
21	36	42	Live Oak	To Remain	71	56.67	54	Live Oak	To Be Removed	121	45.12	41	Live Oak	To Remain	171	49.264	48	Live Oak	To Be Removed
22	57.175	72	Live Oak	To Remain	72	35.17	44	Live Oak	To Be Removed	122	56.4	49	Live Oak	To Remain	172	49.37	48	Magnolia	To Remain
23	64.81	42	Water Oak	To Remain	73	26.13	43	Live Oak	To Remain	123	77.31	49	Live Oak	To Remain					
24	54.12	40	Live Oak	To Be Removed	74	36.156	36	Live Oak	To Remain	124	34.88	56	Live Oak	To Remain					
25	48.33	40	Live Oak	To Remain	75	26.07	80	Live Oak	To Be Removed	125	47.8	48	Live Oak	To Remain					
26	44.355	55	Live Oak	To Be Removed	76	41.8	42	Live Oak	To Be Removed	126	63.93	48	Live Oak	To Remain					
27	62.179	50	Live Oak	To Remain	77	42.056	54	Live Oak	To Remain	127	39.988	46	Live Oak	To Remain					
28	69.591	46	Live Oak	To Be Removed	78	55.938	38	Live Oak	To Be Removed	128	60.57	55	Live Oak	To Be Removed					
29	52.36	36	Live Oak	To Remain	79	46.49	70	Live Oak	To Be Removed	129	71.938	60	Live Oak	To Be Removed					
30	29.045	68	Live Oak	To Be Removed	80	57.03	38	Live Oak	To Remain	130	49.87	72	Live Oak	To Be Removed					
31	44.81	36	Live Oak	To Be Removed	81	56.7	48	Live Oak	To Remain	131	25.1	49	Live Oak	To Remain					
32	54.355	45	Live Oak	To Be Removed	82	36.04	50	Live Oak	To Remain	132	72.21	43	Live Oak	To Remain					
33	39.6	38	Live Oak	To Remain	83	51.27	36	Live Oak	To Remain	133	50.37	79	Live Oak	To Be Removed					
34	63.527	44	Live Oak	To Remain	84	50.082	47	Live Oak	To Remain	134	26.4	40	Live Oak	To Remain					
35	51.823	42	Live Oak	To Be Removed	85	49.04	37	Live Oak	To Remain	135	35.31	40	Live Oak	To Remain					
36	33.7	40	Live Oak	To Remain	86	50.5	51	Live Oak	To Be Removed	136	41.43	38	Live Oak	To Remain					
37	43.03	42	Live Oak	To Be Removed	87	65.8	59	Live Oak	To Be Removed	137	31.269	38	Live Oak	To Remain					
38	71.41	48	Live Oak	To Be Removed	88	47.5	70	Live Oak	To Be Removed	138	30.03	37	Live Oak	To Remain					
39	47	40	Live Oak	To Remain	89	38.733	63	Live Oak	To Be Removed	139	32.62	68	Live Oak	To Remain					
40	28.63	58	Live Oak	To Remain	90	35.96	54	Live Oak	To Be Removed	140	50.411	42	Live Oak	To Remain					
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42	32.788	38	Live Oak	To Be Removed	92	54.57	36	Live Oak	To Be Removed	142	47.48	63	Live Oak	To Remain					
43	48.28	56	Live Oak	To Be Removed	93	43.93	38	Live Oak	To Be Removed	143	52.09	36	Live Oak	To Remain					
44	52.975	48	Live Oak	To Be Removed	94	47.01	46	Live Oak	To Be Removed	144	25.66	43	Water Oak	To Remain					
45	49.99	36	Live Oak	To Be Removed	95	46.8	47	Live Oak	To Remain	145	25.61	37	Live Oak	To Remain					
46	53.29	59	Live Oak	To Be Removed	96	40.96	44	Live Oak	To Remain	146	51.76	37	Live Oak	To Remain					
47	79.85	36	Live Oak	To Be Removed	97	43.15	47	Live Oak	To Be Removed	147	60.23	39	Live Oak	To Remain					
48	37.9	39	Live Oak	To Be Removed	98	50.02	36	Live Oak	To Be Removed	148	45.464	48	Live Oak	To Remain					
49	51.29	38	Live Oak	To Be Removed	99	45.28	48	Live Oak	To Be Removed	149	52.83	45	Live Oak	To Remain					
50	28.63	50	Live Oak	To Be Removed	100	42.8	41	Live Oak	To Be Removed	150	34.55	46	Live Oak	To Remain					



Kimley»»Horn

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KHA PROJECT 142850002	LICENSED PROFESSIONAL	
DATE 11/1/2021	LIC PROF 1	
SCALE AS SHOWN	FL LICENSE NUMBER	
DESIGNED BY SUK	LIC PROF 1 #	
DRAWN BY SUK	DATE: --- --	
CHECKED BY AJL		

TREE DISPOSITION PLAN

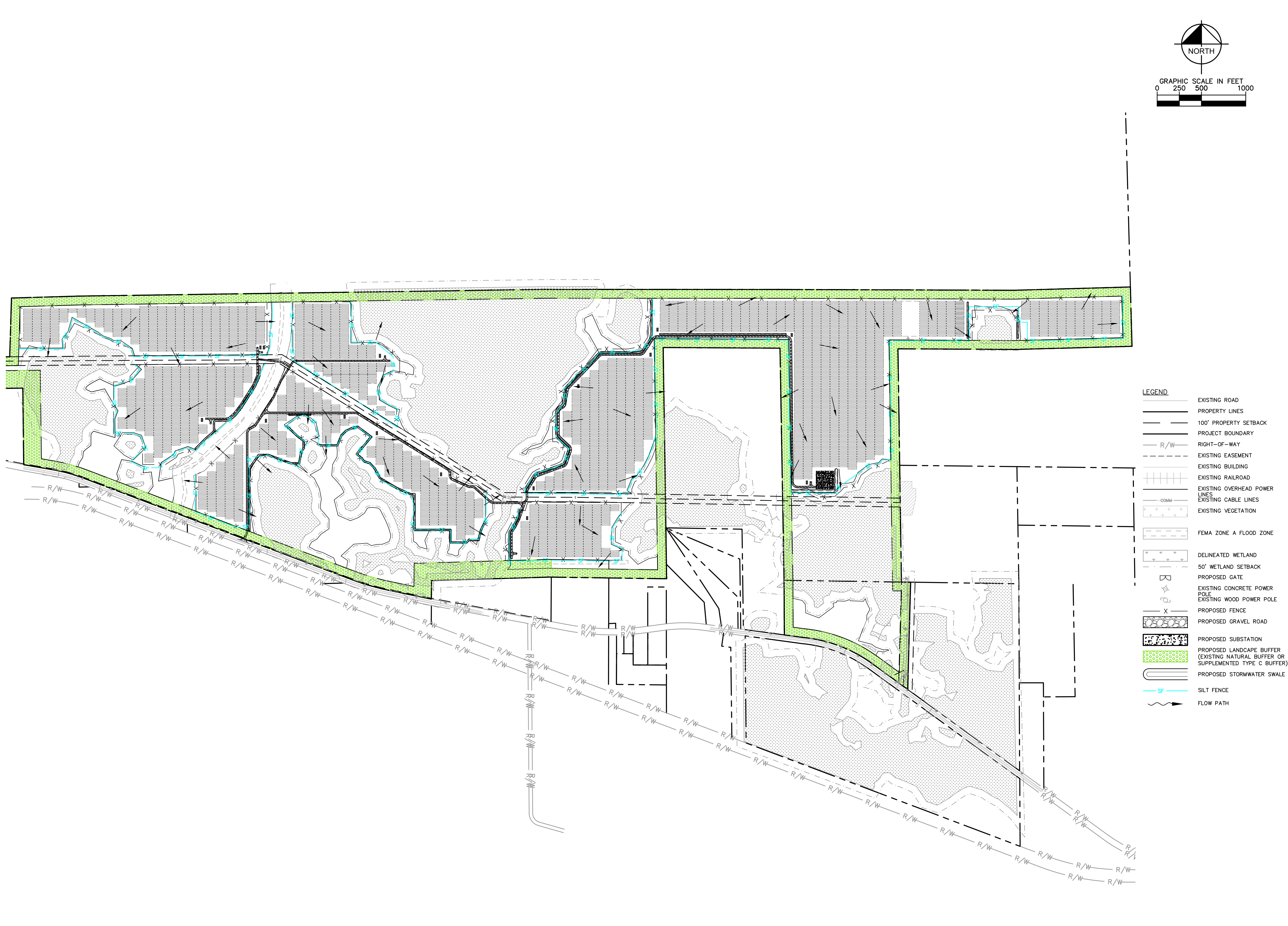
DRIFTON PV1 SOLAR
FACILITY
PREPARED FOR
FRESH AIR ENERGY III LLC

SHEET NUMBER
C-205

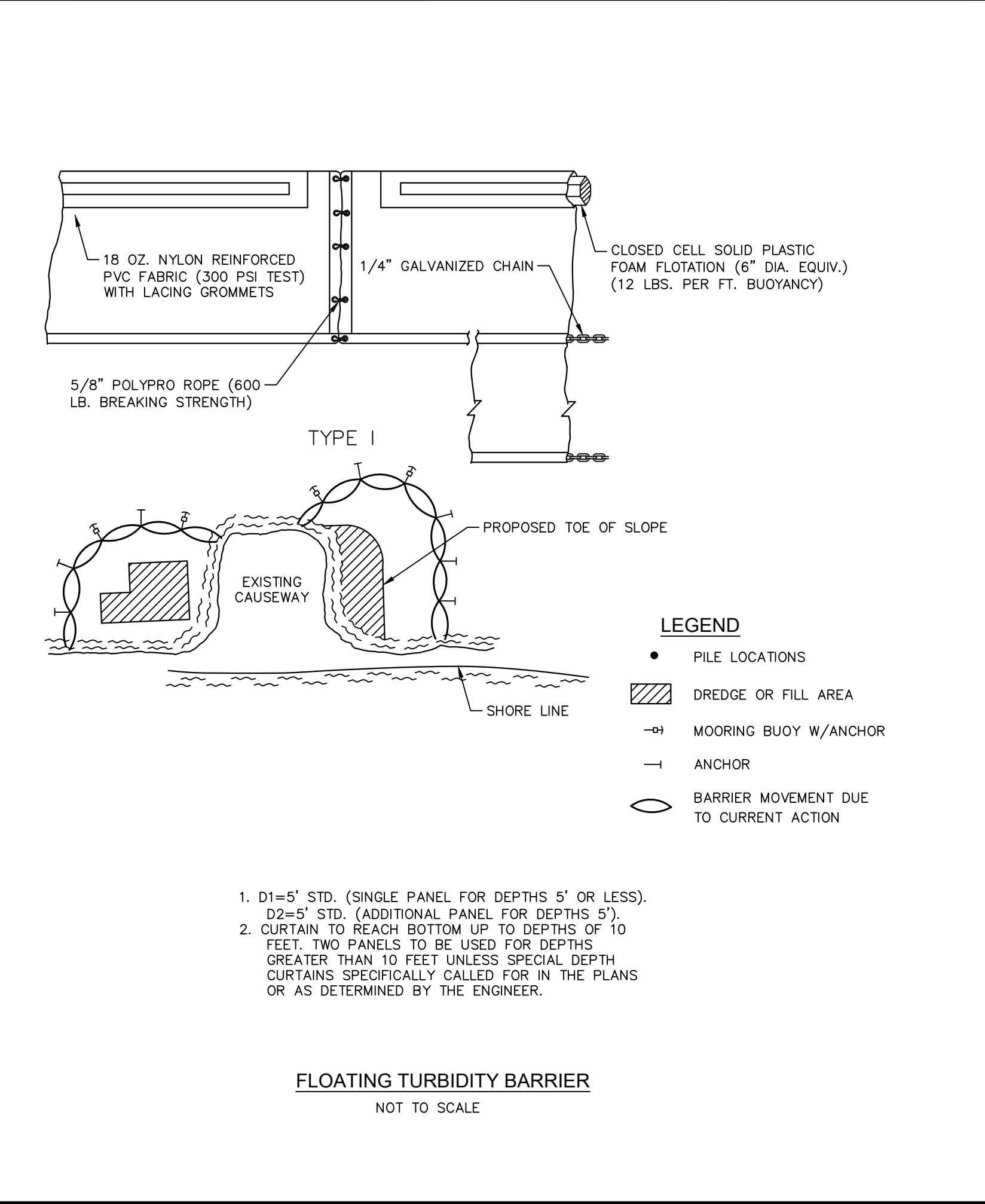
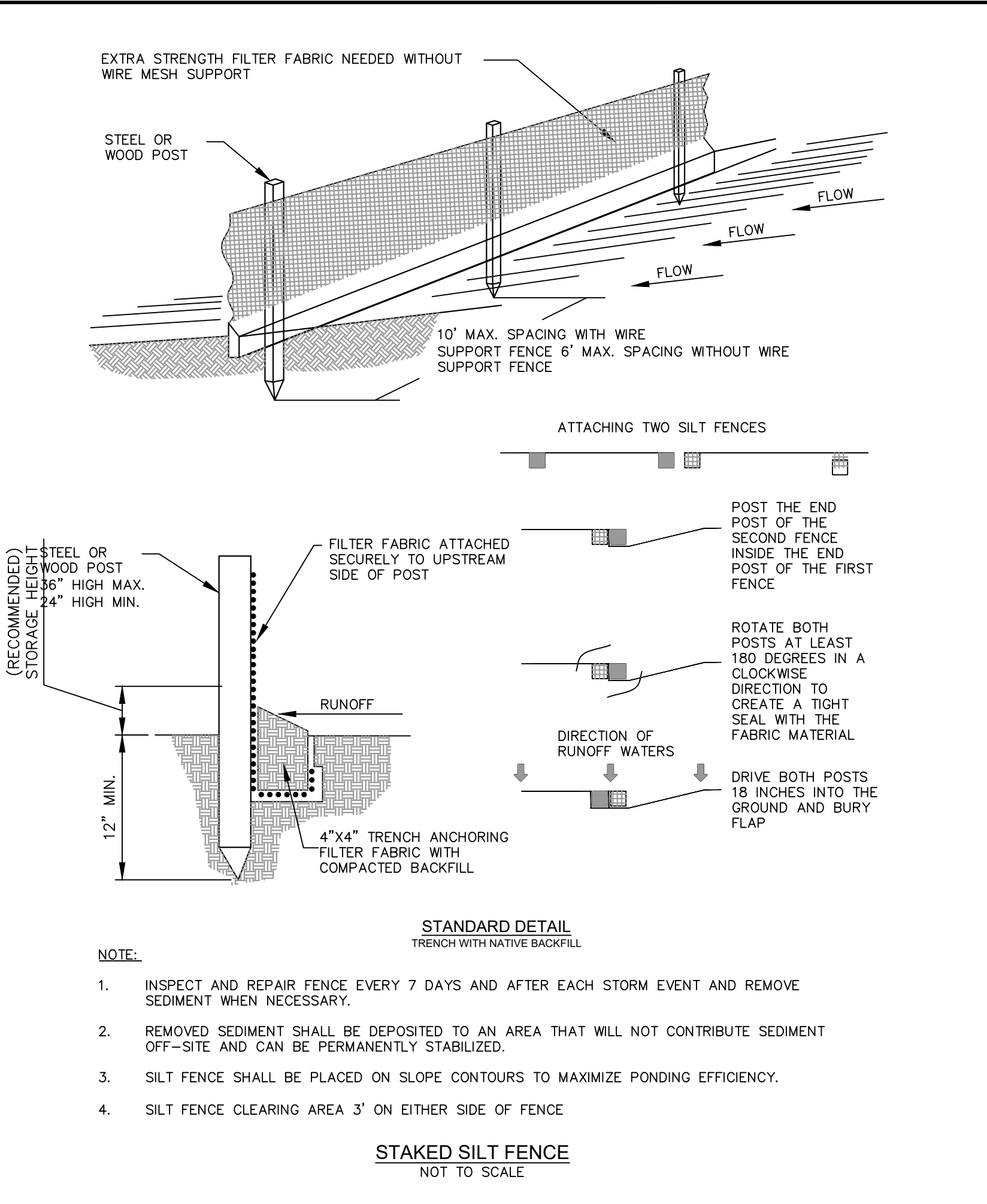
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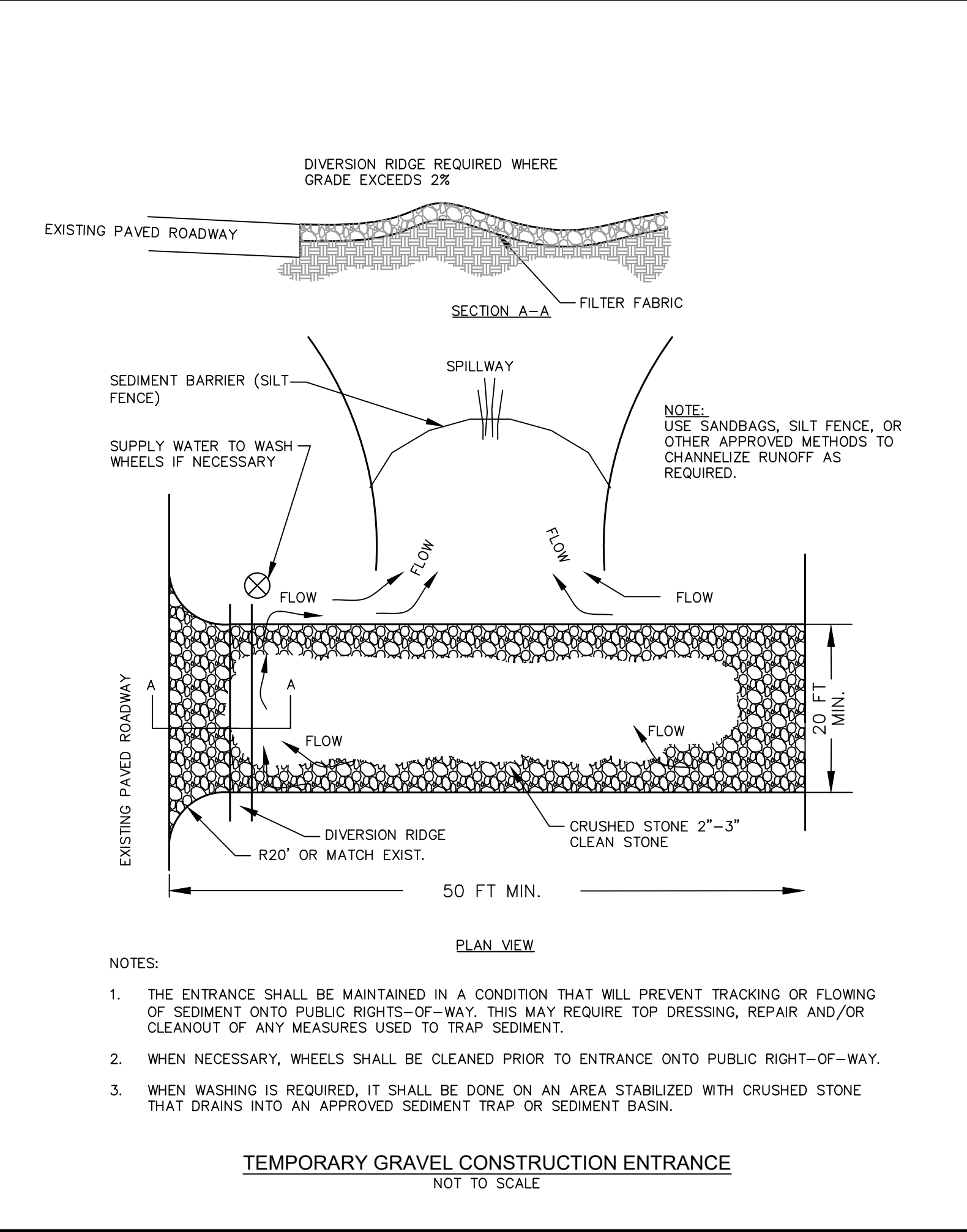


DRIFTON PV1 SOLAR FACILITY PREPARED FOR FRESH AIR ENERGY II, LLC MUNICIPALITY FL		EROSION CONTROL PLAN		KHA PROJECT 142850002		LICENSED PROFESSIONAL		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411 PHONE: 561-845-0665 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM		No. REVISIONS DATE BY	
SHEET NUMBER C-300				DATE 11/1/2021		LIC PROF 1					
				SCALE AS SHOWN		FL LICENSE NUMBER LIC PROF 1 #					
				DESIGNED BY SJK							
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				CHECKED BY							



EROSION CONTROL NOTES

- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AND COUNTY PERMITS.
15. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
16. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
17. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
18. NOI TO BE POSTED ON SITE.
19. DEWATERING ACTIVITIES:
 - A. DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
 - B. CONTRACTOR MUST HAVE A TRANSFERABLE SFWD DEWATERING PERMIT.
 - C. NO HYDRAULIC PUMPS MAY BE USED FOR DEWATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA.



Project Name and location information:	Drifton PV1
Describe the nature of the construction activity:	Solar Energy Facility
Total area of the site:	676 acres
Limits of Disturbance	300 acres
Existing data describing the soil or quality of any stormwater discharge from the site:	

Give a detailed description of all controls, Best Management Practices (BMPs) and measures that will be implemented at the construction site for each activity identified in the intended sequence of major soil disturbing activities section. Provide time frames in which the controls will be implemented.

NOTE: All controls shall be consistent with performance standards for erosion and sediment control and stormwater treatment set forth in s. 62-40.432, F.A.C., the applicable Stormwater or Environmental Resource Permitting requirements of the Department or a Water Management District, and the guidelines contained in the State of Florida Erosion and Sediment Control Designer and Reviewer Manual, FDOT, FDEP (2007) and any subsequent amendments.

- Prior to clearing, a silt fence (trenched 6 inches deep and backfilled on the uphill side), shall be installed around the perimeter of the site. Floating turbidity barrier will be installed to the limits of soil disturbance along the shoreline.
- Disturbed portions of the site where construction activities have permanently ceased shall be stabilized with sod or other permanent stabilization methods no later than 60 days after the last construction activity.
- All installation shall be commenced as depicted on the attached site map and installation “typicals”.

Describe all temporary and permanent stabilization practices. Stabilization practices include temporary seeding, mulching, permanent seeding, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, vegetative preservations, etc.

- Grassing or mulch shall be used to stabilize all disturbed areas.

Describe all structural controls to be implemented to divert stormwater flow from exposed soils and structural practices to store flows, retain sediment on-site or in any other way limit stormwater runoff. These controls include silt fences, earth dikes, diversions, swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems, gabions, coagulating agents and temporary or permanent sediment basins.

- A silt fence (with the same installation as indicated under the Best Management Practices heading) shall be placed around the entire perimeter.
- All runoff will be directed to existing storm water detention facilities.

Describe all sediment basins to be implemented for areas that will disturb 10 or more acres at one time. The sediment basins (or an equivalent alternative) should be able to provide 3,600 cubic feet of storage for each acre drained. Temporary sediment basins (or an equivalent alternative) are recommended for drainage areas under 10 acres.

No temporary sedimentation basins are proposed as runoff will be directed to permanent surface water management system.

Describe all permanent stormwater management controls such as, but not limited to, detention or retention systems or vegetated swales that will be installed during the construction process.

- The Project stormwater system that will accept any runoff from the disturbed areas is completed and operational.

Waste disposal, this may include construction debris, chemicals, litter, and sanitary wastes:	All construction materials and debris will be placed in a dumpster and hauled off site to a landfill or other proper disposal site. No materials will be buried on site. Non-treated wood and cardboard can be ground and used as a leave-in-place mulch. Pallets and other suitable materials can be burned in accordance with local AHJ restrictions.
Offsite vehicle tracking from construction entrances/exits:	Off site vehicle tracking of sediments and dust generation will be minimized via street sweeping and the use of water to keep dust down, and the distance from the disturbed area to off site areas is substantial.
The proper application rates of all fertilizers, herbicides and pesticides used at the construction site:	Florida-friendly fertilizers and pesticides will be used at a minimum and in accordance with the manufacturer's suggested application rates.
The storage, application, generation and migration of all toxic substances:	No toxic substances are anticipated to be present for this operation. Any onsite fuel storage will be in accordance with NPDES 2017 CGP Sec. 2.3.3. and a double containment system will be utilized.
Other:	Port-o-lets will be placed away from storm sewer systems, storm inlet(s), surface waters and wetlands. No vehicle maintenance shall be conducted on-site. A washdown area shall be designated at all times and will not be located in any area that will allow for the discharge of polluted runoff.

Provide a detailed description of the maintenance plan for all structural and non-structural controls to assure that they remain in good and effective operating condition.

Contractor shall provide routine maintenance of permanent and temporary sediment and erosion control features in accordance with the technical specifications or as follows, whichever is more stringent:

- Silt fence shall be inspected at least weekly. Any required repairs shall be made immediately. Sediment deposits shall be removed when they reach approximately one-half the height of the barrier.
- Mulch and sod that has been washed out shall be replaced immediately.
- Maintain all other areas of the site with proper controls as necessary.

Inspections: Describe the inspection and inspection documentation procedures, as required by Part V.D.4. of the permit. Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater (see attached form).


Qualified personnel will inspect all points of discharges, all disturbed areas of construction that have not been stabilized, constructed areas and locations where vehicles enter and exit the site, and all BMPs at least once every 7 calendar days or within 24 hours of the end of a rainfall event that is 0.5 inches or greater. Where sites have been finally stabilized, said inspections shall be conducted at least once every month until the Notice of Termination is filed.

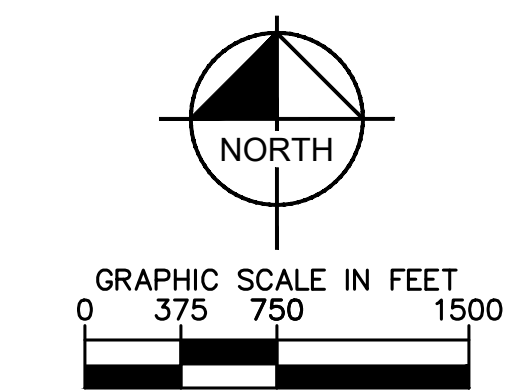
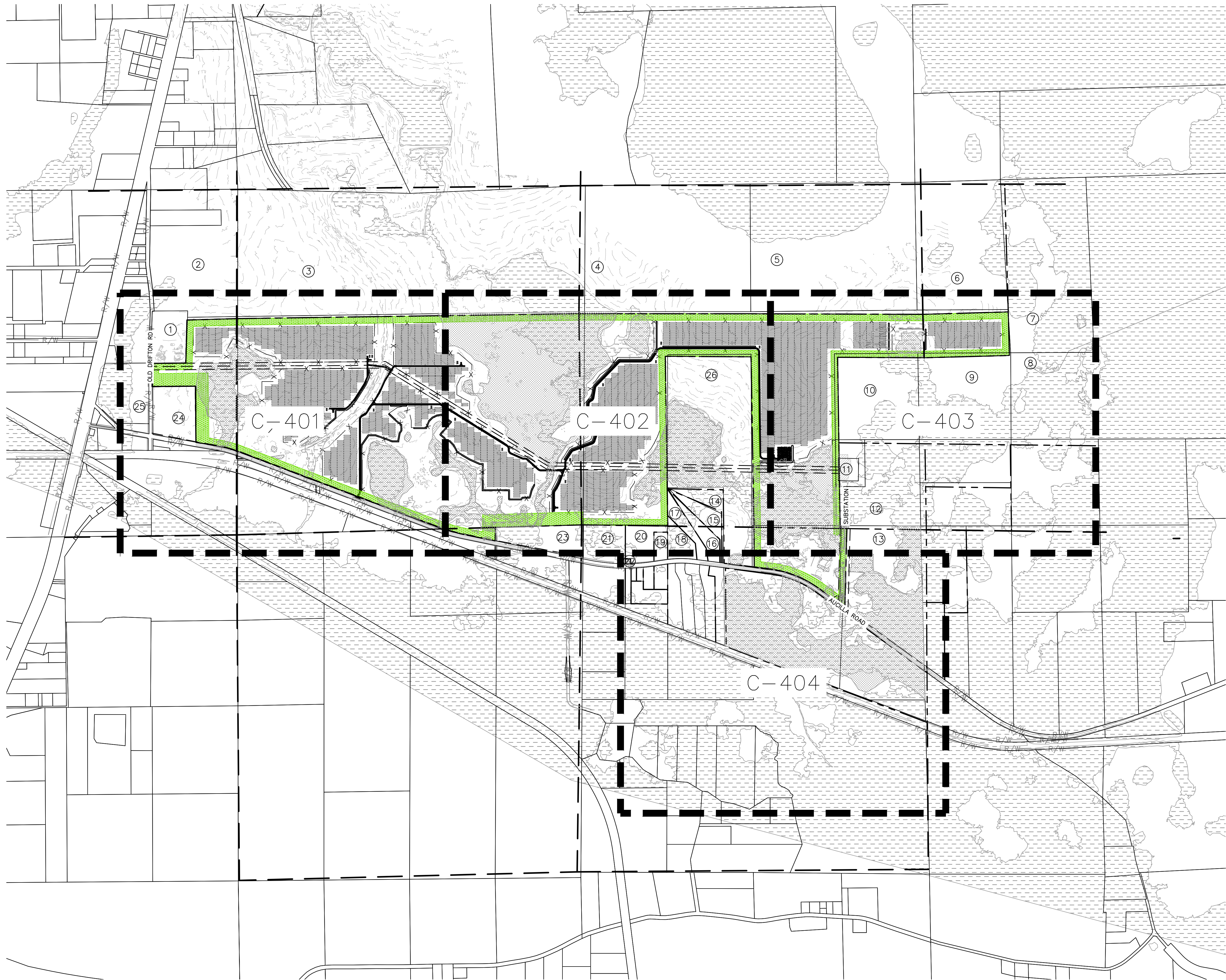
Identify and describe all sources of non-stormwater discharges as allowed in Part IV.A.3. of the permit. Flows from fire fighting activities do not have to be listed or described.





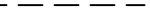






















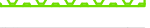


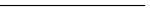
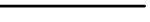

It is expected that no non-stormwater discharges will occur from the site during construction period:

All contractor(s) and subcontractor(s) identified in the SWPPP must sign the following certification:

"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder."

DRIFTON PV1 SOLAR FACILITY PREPARED FOR FRESH AIR ENERGY II, LLC MUNICIPALITY	EROSION CONTROL DETAILS	KHA PROJECT 142850002	LICENSED PROFESSIONAL	 © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411 PHONE: 561-845-0865 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM REGISTRY NO. 696					
		DATE 11/1/2021	LIC PROF 1						
		SCALE AS SHOWN	FL LICENSE NUMBER LIC PROF 1 #						
		DESIGNED BY SUK							
		DRAWN BY							
		CHECKED BY	DATE:		No.	REVISIONS	DATE	BY	



LEGEND	
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	100' PROPERTY SETBACK
	PROJECT BOUNDARY
	RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING BUILDING
	EXISTING RAILROAD
	EXISTING OVERHEAD POWER LINES
	EXISTING CABLE LINES
	EXISTING VEGETATION
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	

DRIFTON PV1 SOLAR
FACILITY
PREPARED FOR
FRESH AIR ENERGY II, LLC
MUNICIPALITY

SHEET NUMBER
C-400

STORMWATER MANAGEMENT PLAN - OVERALL

LICENSED PROFESSIONAL

LIC PROF 1

ALL LICENSE NUMBER

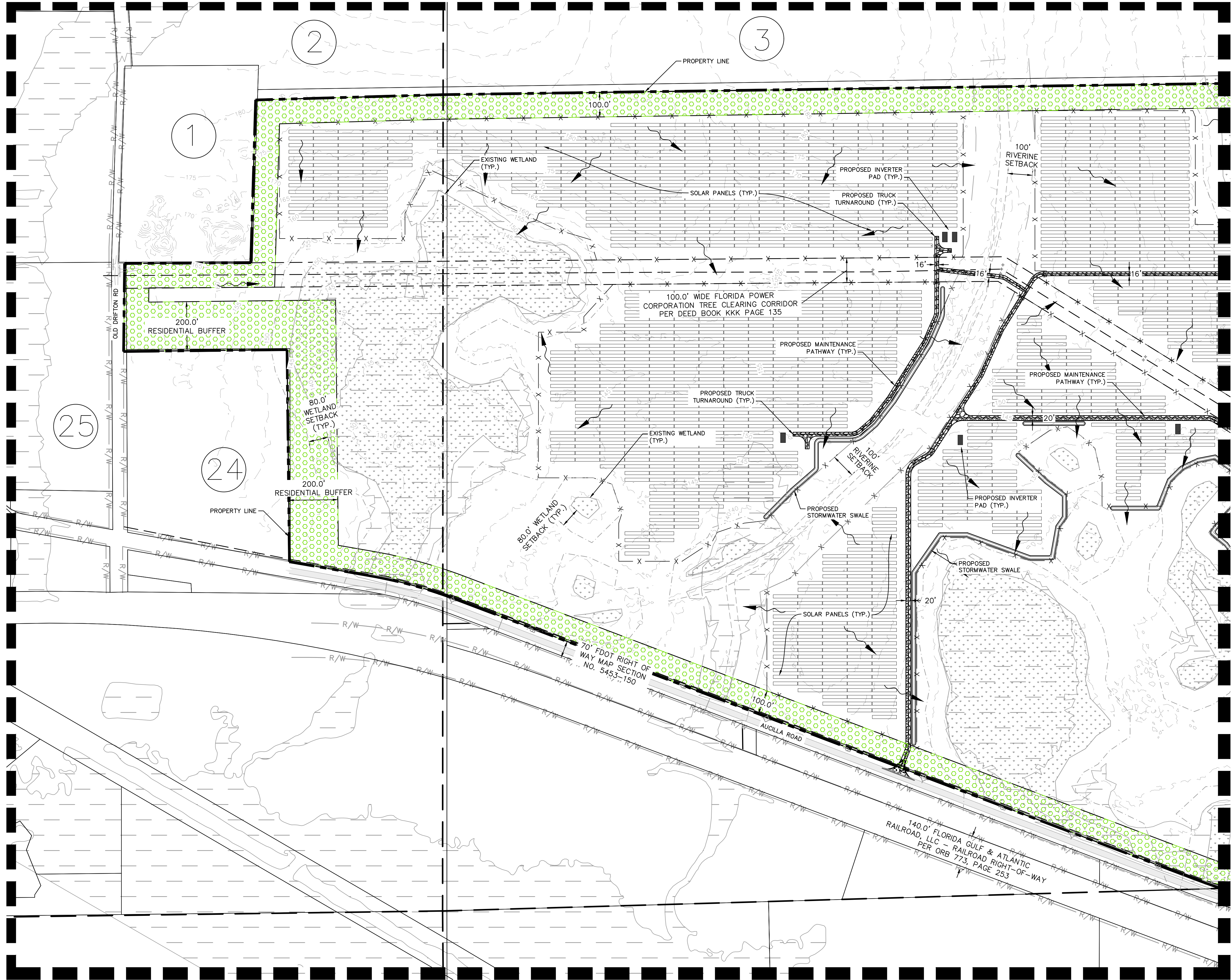
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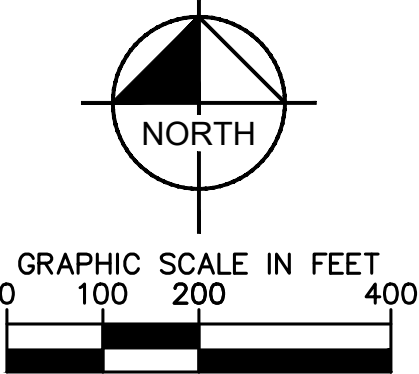
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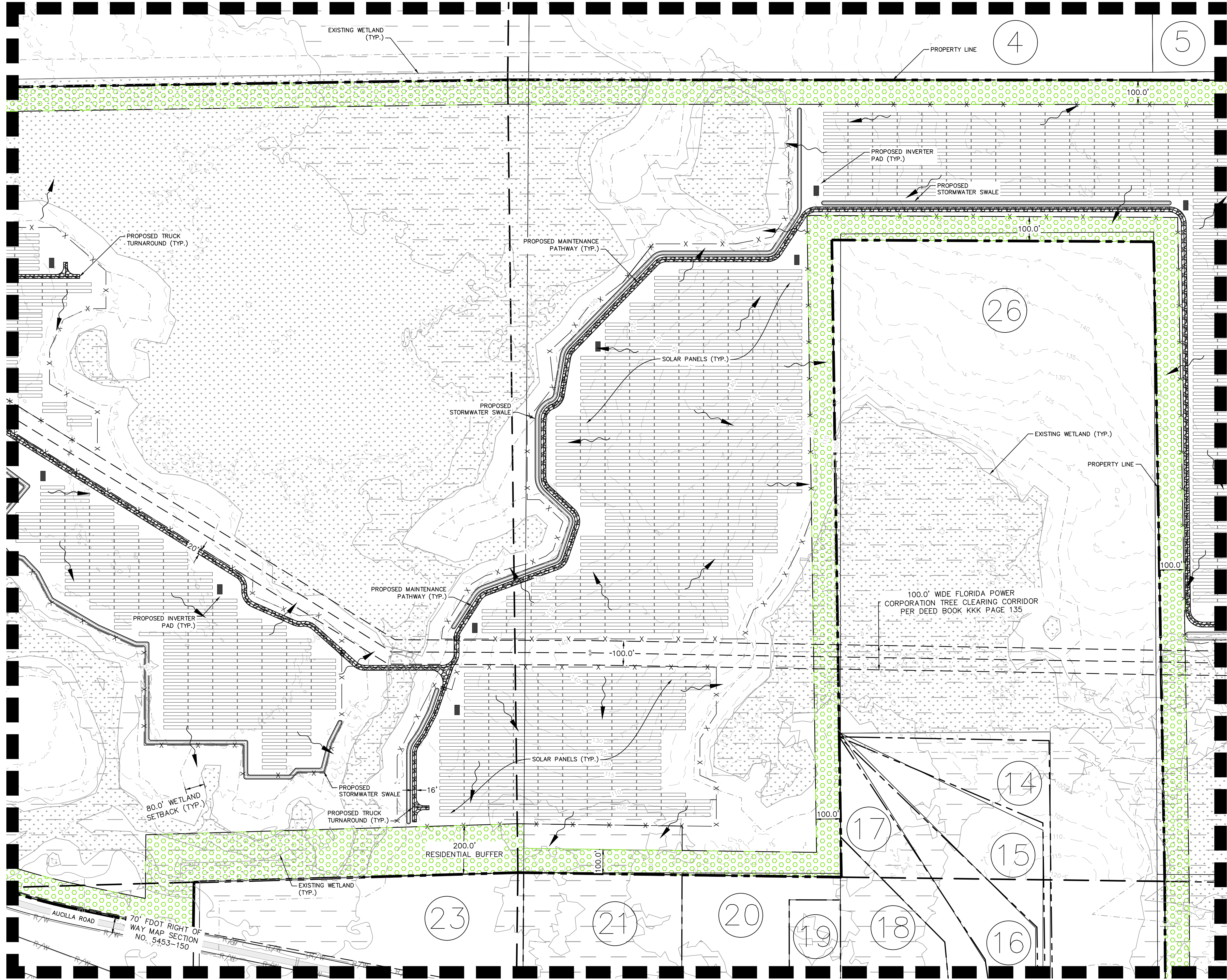


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 - PROPOSED FENCE
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 - PROPOSED LANDCAPE BUFFER (EXISTING NATURAL BUFFER OR SUPPLEMENTED TYPE C BUFFER)
 - PROPOSED SUBSTATION
 - PROPOSED STORMWATER SWALE
 - FLOW PATH



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KIMLEY-HORN AND ASSOCIATES, INC.		1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411		PHONE: 561-863-0665		FAX: 561-863-8175		WWW.KIMLEY-HORN.COM		REGISTRY NO. 696		REVISIONS		No.	
STORMWATER MANAGEMENT PLAN												MUNICIPALITY		FL	
DRIFTON PV1 SOLAR FACILITY PREPARED FOR FRESH AIR ENERGY II, LLC												SHEET NUMBER C-401			

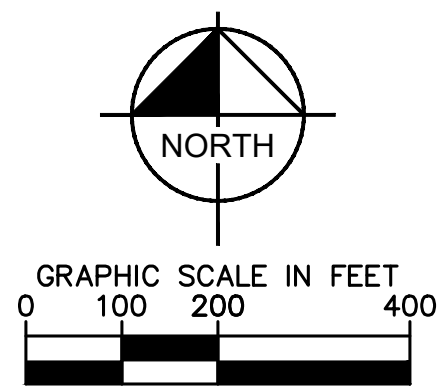
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KHA PROJECT 142850002		DATE 11/1/2021		SCALE AS SHOWN		DESIGNED BY SJK		DRAWN BY		CHECKED BY		DATE		BY	
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	FLOW PATH

DRIFTON PV1 SOLAR
FACILITY
PREPARED FOR
FRESH AIR ENERGY II, LLC
MUNICIPALITY OF

STORMWATER MANAGEMENT PLAN

LIC PROF 1

FL LICENSE NUMBER

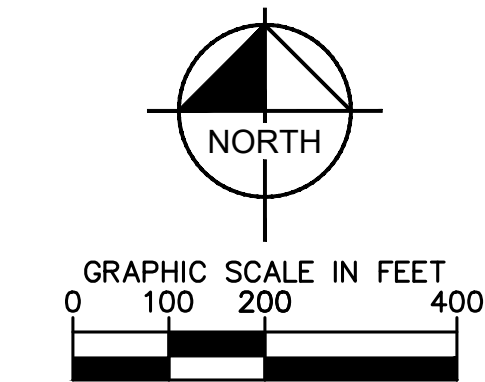
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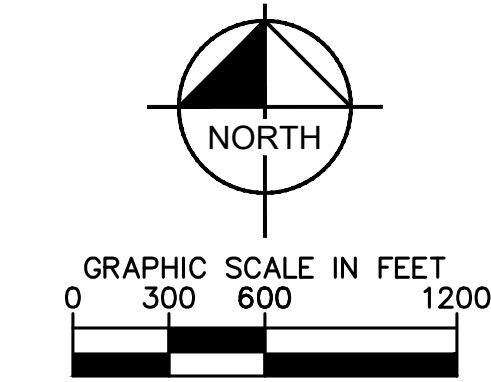
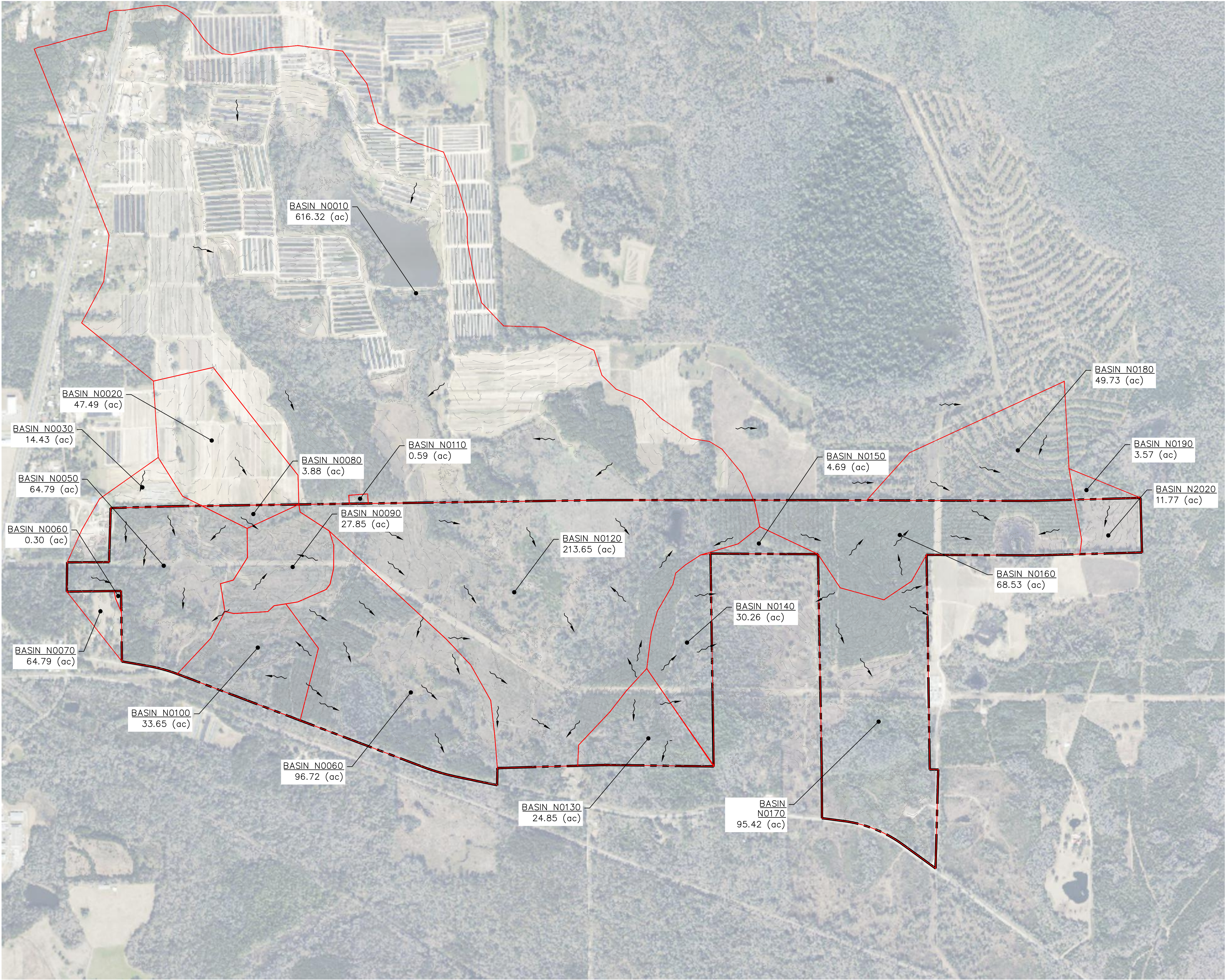


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DRIFTON PV1 SOLAR FACILITY		PREPARED FOR		FRESH AIR ENERGY II, LLC		MUNICIPALITY		FL		SHEET NUMBER	
C-404		NO.		REVISIONS		DATE		BY		BY	

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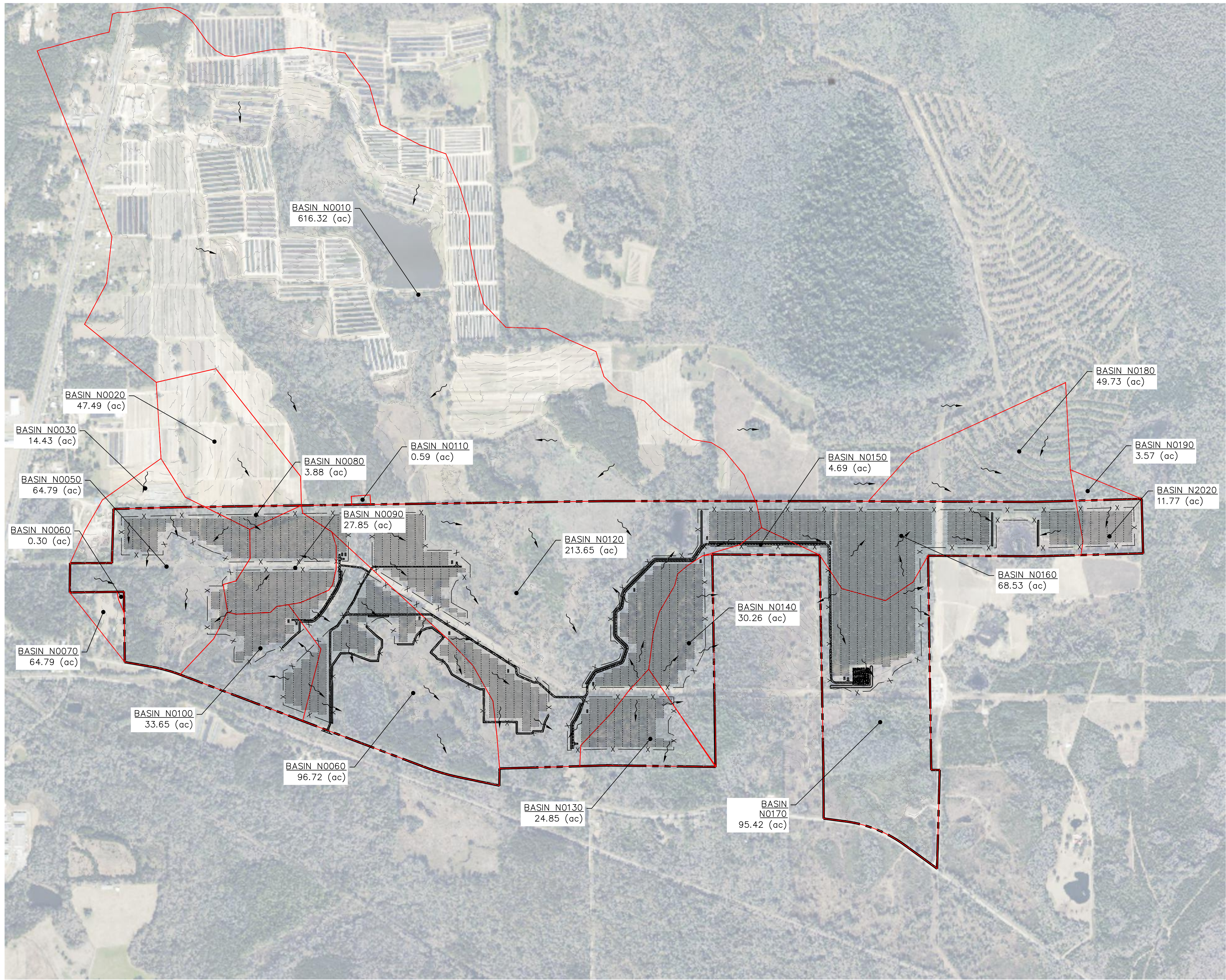
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- LEGEND:
- PROJECT BOUNDARY
 - EXISTING DRAINAGE BASIN
 - FLOW PATH

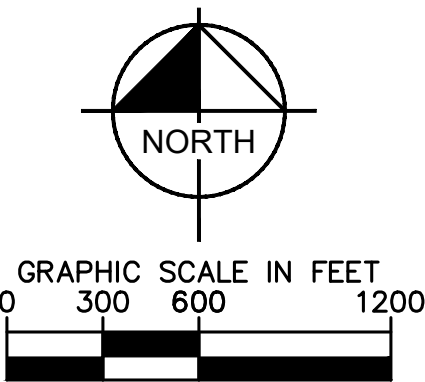
DRIFTON PV1 SOLAR FACILITY PREPARED FOR FRESH AIR ENERGY II, LLC MUNICIPALITY FL	PRE-DEV DRAINAGE MAP	KHA PROJECT 142850002 DATE 11/1/2021 SCALE AS SHOWN DESIGNED BY SJK DRAWN BY CHECKED BY	LICENSED PROFESSIONAL LIC PROF 1 FL LICENSE NUMBER LIC PROF 1 # DATE: _____	Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411 PHONE: 561-845-0665 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM			
				No.	REVISIONS	DATE	BY

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LEGEND:

-  PROJECT BOUNDARY
 EXISTING DRAINAGE BASIN
 FLOW PATH



DRIFTON PV1 SOLAR
FACILITY
PREPARED FOR
FRESH AIR ENERGY II, LLC
MUNICIPALITY OF

POST-DEV DRAINAGE MAP

LICENSED PROFESSIONAL

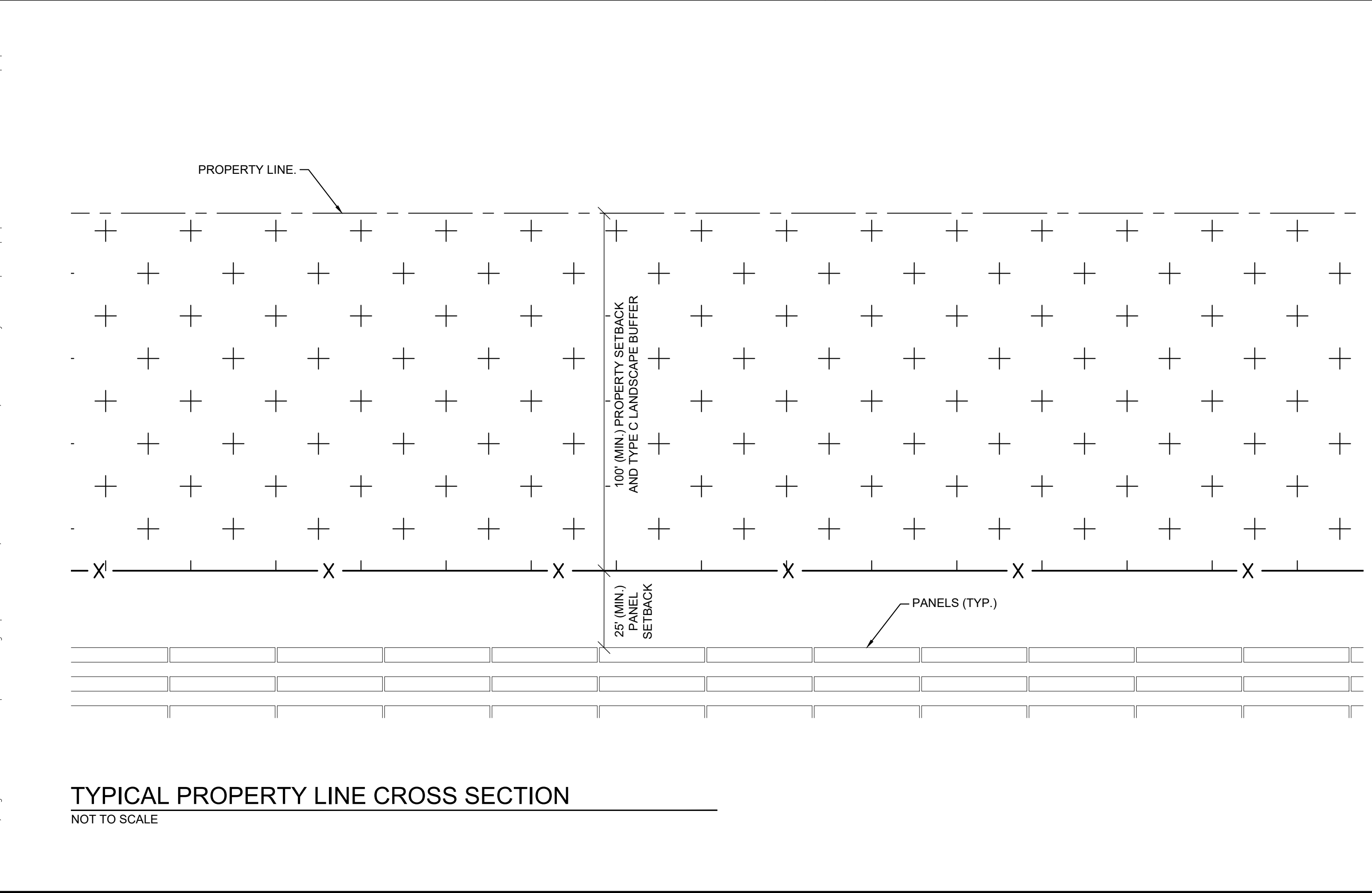
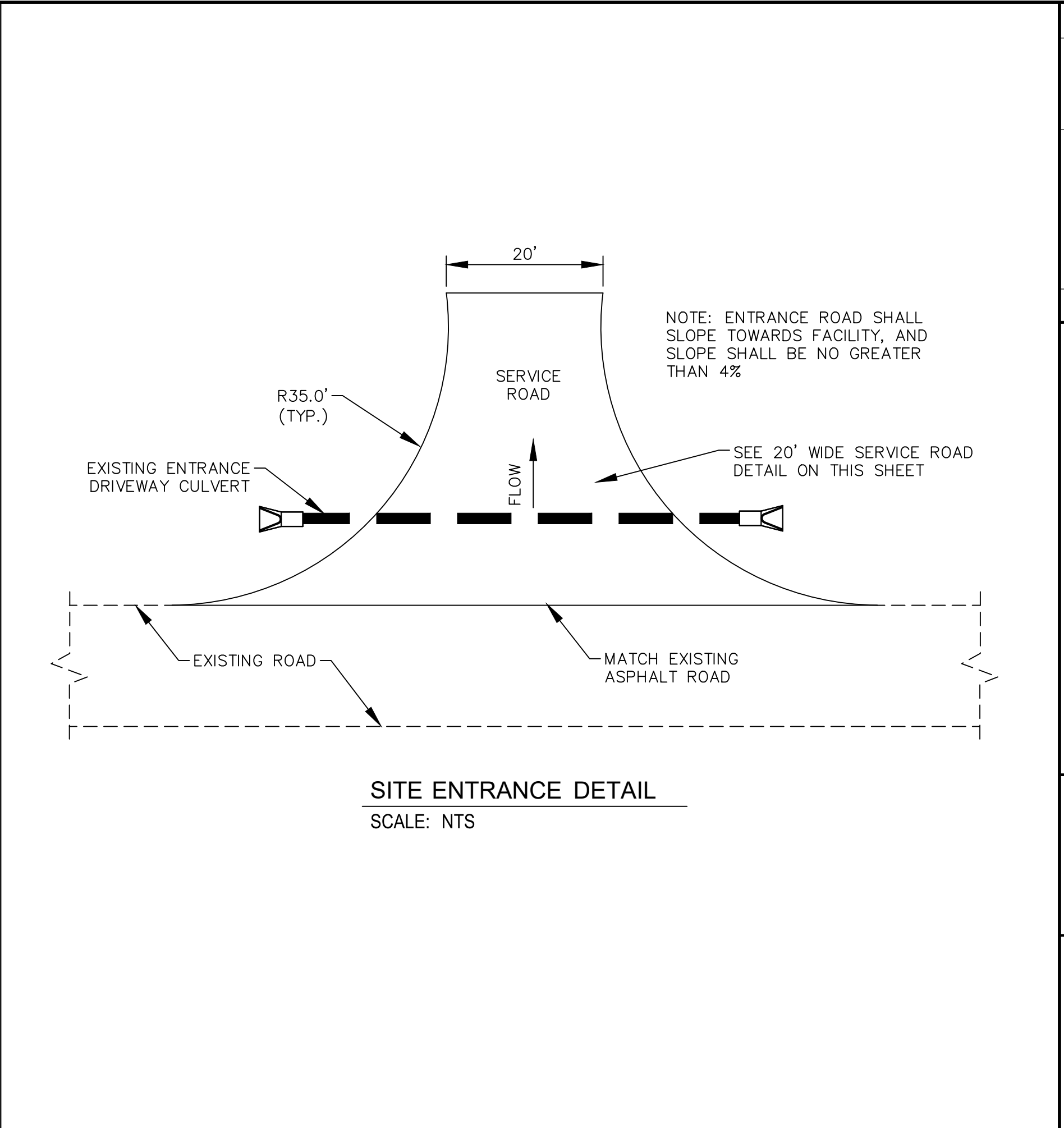
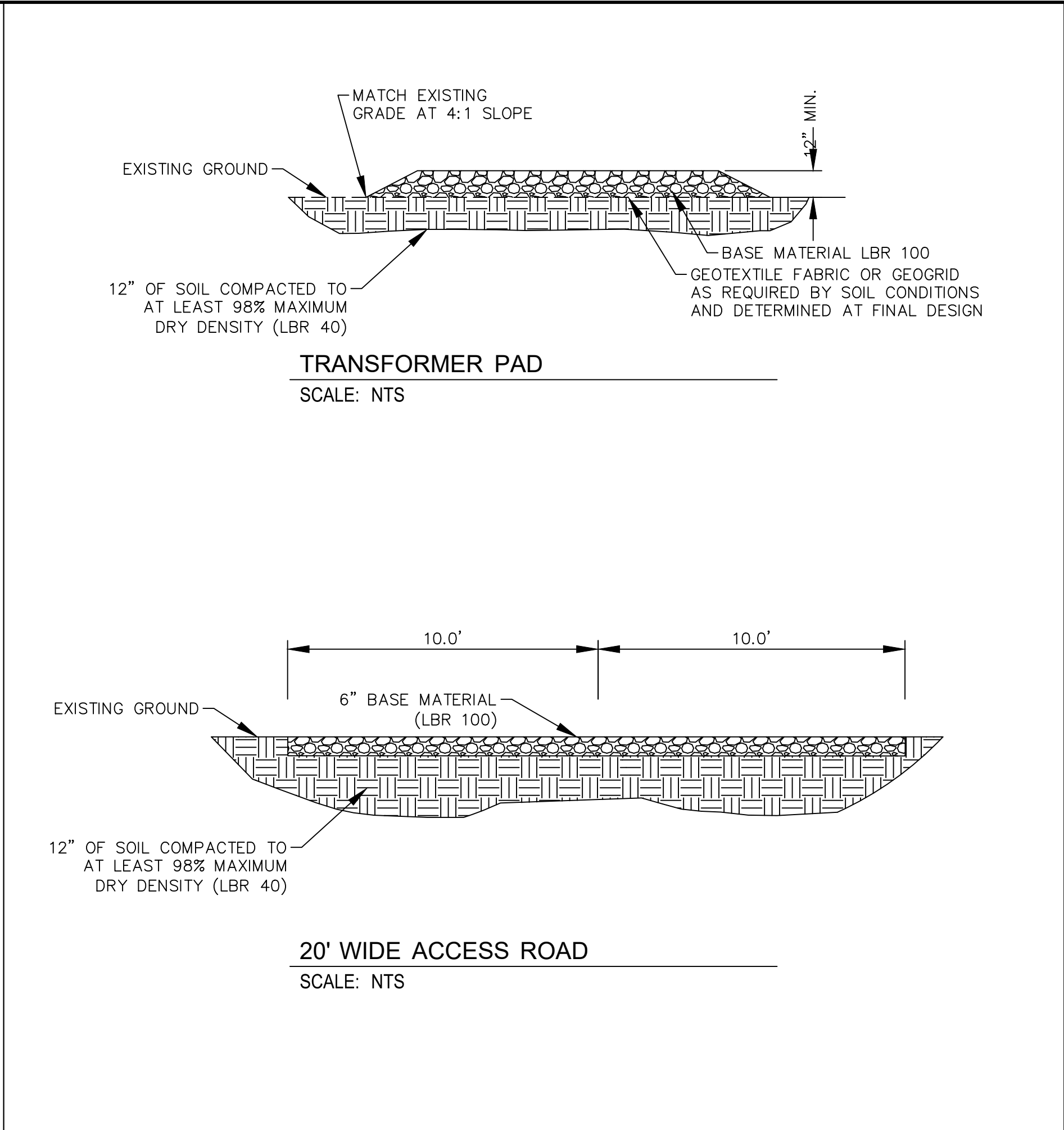
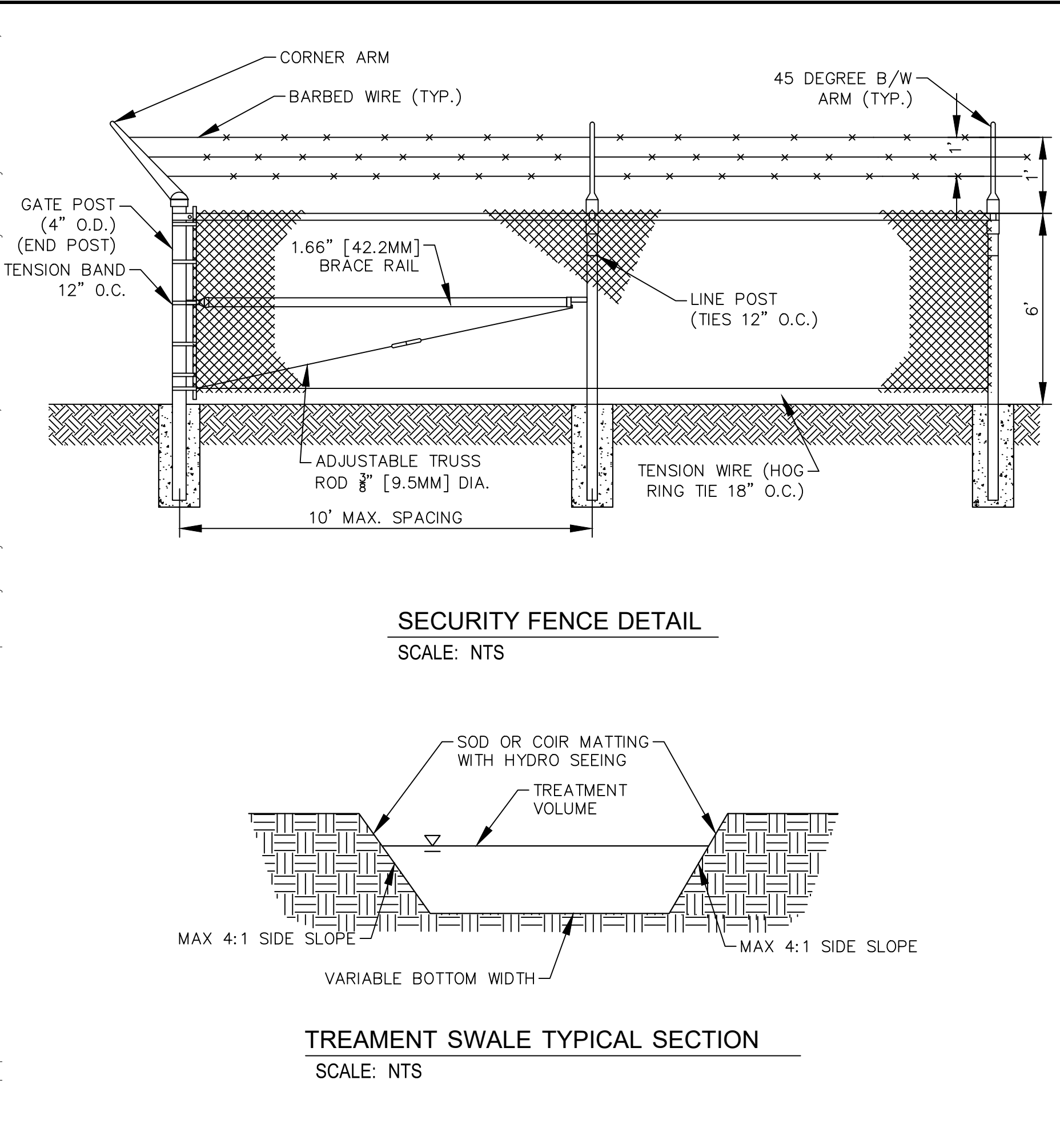
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FL LICENSE NUMBER
LIC PROF 1 #

DATE:

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WWW.KIMLEY-HORN.COM REGISTRY NO. 696

[illegible]



Whenever possible, buffering between new and existing developments should be accomplished through the preservation of existing trees and natural vegetation. The buffering requirements listed herein are suggested minimum requirements. Developers are encouraged to involve the affected owners of properties adjacent to new projects in the design of buffers between their properties to result in a mutually agreed-upon configuration. A buffer may be less than the requirements listed herein provided a written agreement of the property owners on both sides of the adjacent properties is submitted to and approved by the Planning Official. A copy of all such agreements shall be placed in the appropriate project file in the Planning Department or recorded in the Public Records of Jefferson County (Clerk's office).			
STANDARD	TYPE A	TYPE B	TYPE C
1. Height	Six Feet (6')	Eight Feet (8')	Eight Feet (8')
2. Opacity	40%	70%	100%
3. Width	The minimum width shall be the building setback distance, except when adjacent to a road, minimum width shall be 10 feet (see note 5. Shrubs).	The minimum width shall be 1.5 times the building setback distance, except when adjacent to a road, minimum width shall be 10 feet (see note 5. Shrubs).	The minimum width shall be 2 times the building setback distance, except when adjacent to a road, minimum width shall be 10 feet (see note 5. Shrubs).
4. Trees	Tree placement along perimeter buffers shall be placed to allow an even, mature growth of the species' natural canopy.		
5. Shrubs	Midstory growth placement shall provide coverage from ground cover to the lowest level of tree canopies; except along commercial road frontage where visibility of the front of businesses from the street is necessary for security and marketing purposes, hedge and/or shrub growth shall be tall enough to block the headlights of parked vehicles from shining into the adjacent street(s). Lowest level of frontage tree canopies shall be fifteen feet (15') above the ground		
6. Understory	Ground cover shall be provided by any combination of grass, mulch, flowers, etc.		
7. Fencing (Optional)	If fencing is to be utilized to provide the required opacity, plantings shall be placed on the interior (new development) side of the fence to ensure the provision and maintenance of required site landscaping areas (example: required parking perimeter and interior island landscape areas).		

LANDSCAPE BUFFER DETAIL

CALL 2 BUSINESS
DAYS BEFORE
YOU DIG

IT'S THE LAW!
DIAL 811

811

**Know what's below.
Call before you dig.**

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

MAP OF ALTA/NSPS LAND TITLE SURVEY

FOR
881 AC SOLAR - AUCILLA ROAD, MONTICELLO - JEFFERSON COUNTY, FLORIDA 32344
PORTIONS OF SECTIONS 7, 8, 9, 17 & 18, TOWNSHIP 1 NORTH, RANGE 5 EAST &
A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 4 EAST
SHEET 1 OF 5

LEGAL DESCRIPTIONS:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF JEFFERSON, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

NEW PARCEL 2

(ACCORDING TO THE JEFFERSON COUNTY OFFICIAL RECORDS (ORR 723, PAGE 492))

BEGIN AT A CONCRETE MONUMENT MARKING THE SOUTHEAST CORNER OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 5 EAST, JEFFERSON COUNTY, FLORIDA AND RUN SOUTH 88 DEGREES 20 MINUTES 15 SECONDS WEST, A DISTANCE OF 1327.41 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE NORTH QUARTER OF SECTION 18 THENCE SOUTH 00 DEGREES 32 MINUTES 27 SECONDS WEST, A DISTANCE OF 209.73 FEET TO A POINT ON THE NORTH BOUNDARY OF COUNTY ROAD 5-158, THENCE RUN ALONG THE NORTH BOUNDARY OF SAID COUNTY ROAD 5-158 AS FOLLOWS: NORTH 78 DEGREES 18 MINUTES 05 SECONDS WEST, A DISTANCE OF 493.41 FEET TO A POINT, SAID POINT BEING ON A CURVE CONCAVE TO THE NORTH, THENCE RUN IN A WESTERLY DIRECTION ALONG SAID CURVE HAVING A RADIUS OF 2829.93 FEET THROUGH A CENTRAL ANGLE OF 09 DEGREES 01 MINUTES 11 SECONDS FOR AN ARC DISTANCE OF 445.00 FEET (CHORD OF SAID ARC BEING NORTH 49.3 DEGREES 05 MINUTES 29 SECONDS WEST, A DISTANCE OF 445.04 FEET) TO A POINT, THENCE NORTH 69 DEGREES 16 MINUTES 54 SECONDS WEST, A DISTANCE OF 3221.43 FEET TO A POINT, SAID POINT BEING ON A CURVE CONCAVE TO THE SOUTH, THENCE RUN IN A WESTERLY DIRECTION ALONG SAID CURVE HAVING A RADIUS OF 1945.08 FEET THROUGH A CENTRAL ANGLE OF 10 DEGREES 51 MINUTES 49 SECONDS FOR AN ARC DISTANCE OF 368.80 FEET (CHORD OF SAID ARC BEING NORTH 74 DEGREES 42 MINUTES 48 SECONDS WEST, A DISTANCE OF 368.25 FEET) TO A POINT, THENCE NORTH 80 DEGREES 08 MINUTES 43 SECONDS WEST A DISTANCE OF 327.60 FEET TO A POINT ON THE EAST BOUNDARY OF THE KENDRICKS PROPERTY AS DESCRIBED IN THE PUBLIC RECORDS OF JEFFERSON COUNTY, FLORIDA IN OFFICIAL RECORD BOOK 491, PAGE 35, THENCE NORTH 00 DEGREES 43 MINUTES 20 SECONDS WEST, ALONG THE EAST BOUNDARY OF SAID KENDRICKS PROPERTY, A DISTANCE OF 864.21 FEET TO THE NORTHEAST CORNER OF THE KENDRICKS PROPERTY, THENCE SOUTH 89 DEGREES 20 MINUTES 37 SECONDS WEST, ALONG THE NORTH BOUNDARY OF THE KENDRICKS PROPERTY A DISTANCE OF 665.08 FEET TO A POINT ON THE EAST BOUNDARY OF OLD PINHOOK ROAD, THENCE NORTH 00 DEGREES 36 MINUTES 24 SECONDS EAST, ALONG THE EAST BOUNDARY OF OLD PINHOOK ROAD, A DISTANCE OF 358.45 FEET TO THE SOUTHWEST CORNER OF JEFFERSON POWER L.C. PROPERTY AS DESCRIBED IN SAID PUBLIC RECORDS OF JEFFERSON COUNTY FLORIDA IN OFFICIAL RECORD BOOK 438, PAGE 52, THENCE NORTH 89 DEGREES 34 MINUTES 43 SECONDS EAST, ALONG THE SOUTH BOUNDARY OF SAID JEFFERSON POWER L.C. PROPERTY, A DISTANCE OF 314.35 FEET TO THE SOUTHEAST CORNER OF SAID JEFFERSON POWER L.C. PROPERTY, THENCE NORTH 01 DEGREES 42 MINUTES 53 SECONDS EAST, ALONG THE EAST BOUNDARY OF SAID JEFFERSON POWER L.C. PROPERTY A DISTANCE OF 673.28 FEET TO A POINT, THENCE LEAVING THE EAST BOUNDARY OF SAID JEFFERSON POWER L.C. PROPERTY RUN NORTH 89 DEGREES 10 MINUTES 28 SECONDS EAST, A DISTANCE OF 763.68 FEET TO THE NORTHWEST CORNER OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTH HALF OF SECTION 7, THENCE NORTH 89 DEGREES 10 MINUTES 28 SECONDS EAST, A DISTANCE OF 5263.37 FEET TO THE NORTHEAST CORNER OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTH HALF OF SECTION 7, THENCE SOUTH 89 DEGREES 58 MINUTES 56 SECONDS EAST, A DISTANCE OF 2635.43 FEET TO THE NORTHEAST CORNER OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 8, THENCE SOUTH 89 DEGREES 48 MINUTES 11 SECONDS EAST, A DISTANCE OF 2652.57 FEET TO NORTHEAST CORNER OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 8, THENCE NORTH 88 DEGREES 21 MINUTES 53 SECONDS EAST, A DISTANCE OF 1313.30 FEET TO NORTHEAST CORNER OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 9, THENCE SOUTH 01 DEGREES 35 MINUTES 02 SECONDS EAST, A DISTANCE OF 669.95 FEET TO SOUTHEAST CORNER OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 9, THENCE SOUTH 08 DEGREES 28 MINUTES 33 SECONDS WEST, A DISTANCE OF 1311.56 FEET TO THE SOUTHEAST CORNER OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 8, THENCE NORTH 89 DEGREES 42 MINUTES 08 SECONDS WEST, A DISTANCE OF 1330.71 FEET TO THE NORTHEAST CORNER OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 8, THENCE SOUTH 00 DEGREES 51 MINUTES 04 SECONDS EAST, A DISTANCE OF 2633.35 FEET TO THE SOUTHEAST CORNER OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 8, THENCE NORTH 89 DEGREES 10 MINUTES 26 SECONDS WEST, A DISTANCE OF 1325.04 FEET TO THE SOUTHWEST CORNER OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 8, THENCE NORTH 00 DEGREES 58 MINUTES 53 SECONDS WEST, A DISTANCE OF 2621.23 FEET TO THE SOUTHEAST CORNER OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 8, THENCE NORTH 89 DEGREES 42 MINUTES 08 SECONDS WEST, A DISTANCE OF 1319.24 FEET TO SOUTHWEST CORNER OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 8, THENCE SOUTH 00 DEGREES 51 MINUTES 32 SECONDS EAST, A DISTANCE OF 2609.69 FEET TO THE SOUTHEAST CORNER OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 8, THENCE NORTH 89 DEGREES 12 MINUTES 30 SECONDS WEST, A DISTANCE OF 1325.13 FEET TO THE **POINT OF BEGINNING**, CONTAINING 649.42 ACRES, MORE OR LESS AND LYING IN SECTIONS 7, 8, 9 AND 18 OF TOWNSHIP 1 NORTH RANGE 5 EAST, AND IN SECTION 12 OF TOWNSHIP 1 NORTH, RANGE 4 EAST, JEFFERSON COUNTY, FLORIDA.

PARCEL 1:

COMMENCE AT A WOOD POST MARKING THE NORTHEAST CORNER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST, JEFFERSON COUNTY, FLORIDA, AND RUN NORTH 89° 21' 48" WEST, ALONG THE NORTH BOUNDARY OF SAID SECTION 17, 1,324.77 FEET; THENCE NORTH 89° 19' 34" WEST, ALONG THE NORTH BOUNDARY OF SAID SECTION 17, 1,325.04 FEET TO THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, FOR A **POINT OF BEGINNING**; THENCE FROM SAID **POINT OF BEGINNING**, RUN SOUTH 00° 35' 15" EAST, 610.71 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 158; THENCE NORTH 83° 12' 21" WEST, ALONG SAID RIGHT-OF-WAY LINE, 466.34 FEET; THENCE LEAVING SAID RIGHT-OF-WAY LINE, RUN NORTH 00° 33' 16" WEST, 1,131.40 FEET; THENCE NORTH 89° 07' 24" WEST, 859.90 FEET TO A POINT ON THE WEST BOUNDARY OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 8; THENCE NORTH 01° 15' 38" WEST, 1,319.38 FEET TO THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 8; THENCE SOUTH 89° 52' 19" EAST, 1,319.38 FEET TO THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 8; THENCE SOUTH 01° 09' 26" EAST, 2,621.23 FEET TO THE **POINT OF BEGINNING**.

PARCEL 2:

COMMENCE AT A WOOD POST MARKING THE NORTHEAST CORNER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST, JEFFERSON COUNTY, FLORIDA, AND RUN NORTH 89° 21' 48" WEST, ALONG THE NORTH BOUNDARY OF SAID SECTION 17, 1,221.13 FEET TO A POINT ON THE EAST BOUNDARY OF A 100-FOOT WIDE FLORIDA POWER LINE EASEMENT, FOR A **POINT OF BEGINNING**; THENCE FROM SAID **POINT OF BEGINNING**, RUN SOUTH 00° 21' 45" WEST, ALONG THE EAST BOUNDARY OF SAID POWER LINE EASEMENT, 1,213.01 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 158; THENCE RUN ALONG SAID RIGHT-OF-WAY LINE AS FOLLOWS: NORTH 54° 12' 21" WEST, 494.97 FEET TO A POINT OF CURVE CONCAVE TO THE SOUTHWEST; THENCE RUN IN A WESTERLY DIRECTION ALONG SAID CURVE HAVING A RADIUS OF 1,672.28 FEET, THROUGH A CENTRAL ANGLE OF 28° 59' 33", FOR AN ARC DISTANCE OF 846.20 FEET (CHORD OF SAID ARC BEING NORTH 68° 42' 34" WEST, 837.20 FEET); THENCE NORTH 83° 12' 21" WEST, 213.44 FEET; THENCE LEAVING SAID RIGHT-OF-WAY LINE, RUN NORTH 00° 35' 15" WEST, 610.71 FEET TO THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 17; THENCE SOUTH 89° 19' 34" EAST, ALONG THE NORTH BOUNDARY OF SAID SECTION 17, 1,325.04 FEET; THENCE SOUTH 89° 21' 48" EAST, ALONG THE NORTH BOUNDARY OF SAID SECTION 17, 103.64 FEET TO THE **POINT OF BEGINNING**.

PARCEL 3:

BEGIN AT A WOOD POST MARKING THE NORTHEAST CORNER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST, JEFFERSON COUNTY, FLORIDA, AND RUN SOUTH 00° 27' 04" EAST, ALONG THE EAST BOUNDARY OF SAID SECTION 17, 2,112.09 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 158; THENCE NORTH 54° 12' 48" WEST, ALONG SAID RIGHT-OF-WAY LINE, 1,561.31 FEET TO A POINT ON THE EAST BOUNDARY OF 100-FOOT WIDE FLORIDA POWER LINE EASEMENT; THENCE RUN NORTH 01° 21' 45" EAST, ALONG THE EAST BOUNDARY OF SAID POWER LINE EASEMENT, 1,212.93 FEET TO A POINT ON THE NORTH BOUNDARY OF SAID SECTION 17; THENCE SOUTH 89° 21' 48" EAST, ALONG THE NORTH BOUNDARY OF SAID SECTION 17, 1,221.13 FEET TO THE **POINT OF BEGINNING**.

PARCEL 4:

BEGIN AT A WOOD POST MARKING THE NORTHEAST CORNER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST, JEFFERSON COUNTY, FLORIDA AND RUN SOUTH 00° 27' 04" EAST, ALONG THE EAST BOUNDARY OF SAID SECTION 17, 2,198.98 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD 158; THENCE NORTH 54° 12' 48" WEST, ALONG SAID RIGHT-OF-WAY LINE, 1,554.64 FEET FOR A **POINT OF BEGINNING**; THENCE FROM SAID **POINT OF BEGINNING** AND LEAVING SAID RIGHT-OF-WAY LINE, RUN SOUTH 00° 34' 39" WEST, 1,183.17 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE S.C.L. RAILROAD; THENCE NORTH 69° 32' 14" WEST, ALONG SAID RAILROAD RIGHT-OF-WAY, 1,886.43 FEET; THENCE LEAVING SAID RAILROAD RIGHT-OF-WAY LINE, RUN NORTH 00° 38' 31" WEST, 1,209.30 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SAID COUNTY ROAD 158; THENCE RUN ALONG SAID RIGHT-OF-WAY LINE AS FOLLOWS: SOUTH 83° 12' 21" EAST, 650.96 FEET, TO A POINT OF CURVE CONCAVE TO THE SOUTH; THENCE RUN IN AN EASTERLY DIRECTION ALONG SAID CURVE HAVING A RADIUS OF 1,602.28 FEET, THROUGH A CENTRAL ANGLE OF 28° 59' 33", FOR AN ARC DISTANCE OF 810.78 FEET (CHORD OF SAID ARC BEING SOUTH 68° 42' 34" WEST, 802.15 FEET); THENCE SOUTH 54° 12' 48" EAST, 542.90 FEET TO THE **POINT OF BEGINNING**.

PARCEL 5:

BEGIN AT A WOOD POST MARKING THE NORTHEAST CORNER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST, JEFFERSON COUNTY, FLORIDA AND RUN SOUTH 00° 27' 04" EAST, ALONG THE EAST BOUNDARY OF SAID SECTION 17, 2,198.98 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD 158 FOR A **POINT OF BEGINNING**; THENCE FROM SAID **POINT OF BEGINNING**, CONTINUE SOUTH 00° 27' 04" EAST, ALONG THE EAST BOUNDARY OF SAID SECTION 17, 442.49 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 17; THENCE NORTH 89° 28' 03" WEST, ALONG THE SOUTH BOUNDARY OF THE NORTHEAST 1/4 OF SAID SECTION 17, 880.41 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE S.C.L. RAILROAD; THENCE NORTH 69° 32' 14" WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID RAILROAD, 475.61 FEET; THENCE LEAVING THE NORTH RIGHT-OF-WAY LINE OF SAID RAILROAD, RUN NORTH 02° 34' 39" EAST, 1,183.17 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SAID COUNTY ROAD 158; THENCE SOUTH 54° 12' 48" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID COUNTY ROAD 158, 1,564.64 FEET TO THE **POINT OF BEGINNING**.

PARCEL 6:

THAT PORTION OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST, JEFFERSON COUNTY, FLORIDA, LYING SOUTH OF ABOVE DESCRIBED PARCEL 5 AND LYING NORTHERLY OF THE SEABOARD COAST LINE RAILROAD RIGHT OF WAY.

THE ABOVE LEGAL DESCRIPTION IS A PRELIMINARY DESCRIPTION. THIS DESCRIPTION IS CURRENTLY NOT AN INSURABLE DESCRIPTION. THE COMPANY MUST BE FURNISHED WITH A COMPLETE AND ACCURATE DESCRIPTION OF THE LANDS TO BE INSURED. THE COMPANY RESERVES THE RIGHT TO REVISE AND/OR AMEND THIS COMMITMENT UPON RECEIPT AND REVIEW OF SAID DESCRIPTION.

(SURVEYORS LEGAL DESCRIPTION)

COMMENCE AT A 1/2" IRON ROD AND CAP (ILLEGIBLE) MARKING THE NORTHEAST CORNER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST, JEFFERSON COUNTY, FLORIDA AND RUN SOUTH 00° 16' 49"E, ALONG THE EAST BOUNDARY OF SAID SECTION 17, 2,199.22 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD 158, THENCE CONTINUING ALONG EAST BOUNDARY OF SAID SECTION 17, 500°10'55"E, 441.03 FEET TO THE SOUTHEASTERN MOST CORNER OF PARCEL 5 AS DESCRIBED IN OFFICIAL RECORDS BOOK 766 PAGE 115 OF THE PUBLIC RECORDS OF JEFFERSON COUNTY, FLORIDA AND THE **POINT OF BEGINNING**; THENCE S00°24'53"E, ALONG THE EAST BOUNDARY OF SAID SECTION 17, 323.76 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE FLORIDA GULF & ATLANTIC RAILROAD (FORMERLY KNOWN AS S.C.L. RAILROAD) AS DESCRIBED IN OFFICIAL RECORDS BOOK 773 PAGE 253 OF THE PUBLIC RECORDS OF JEFFERSON COUNTY, FLORIDA, THENCE DEPARTING SAID EAST BOUNDARY OF SAID SECTION 17, N69°18'31"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, 943.87 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, S89°19'55"E ALONG THE SOUTH BOUNDARY OF AFOREMENTIONED PARCEL 5, 880.51 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 3.274 ACRES.

TABLE A:

- MONUMENTS PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER. **(ON MAP OF SURVEY)**
- ADDRESS(ES) OF THE SURVEYED PROPERTY IF DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR, OR OBSERVED WHILE CONDUCTING THE FIELDWORK. **(ON MAP OF SURVEY)**
- FLOOD ZONE CLASSIFICATION (WITH PROPER ANNOTATION BASED ON FEDERAL FLOOD INSURANCE RATE MAPS OR THE STATE OR LOCAL EQUIVALENT) DEPICTED BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY. **(SEE NOTE 12 IN SURVEYORS NOTES)**
- GROSS LAND AREA (AND OTHER AREAS IF SPECIFIED BY THE CLIENT). **(ON MAP OF SURVEY)**
- (A) IF SET FORTH IN A ZONING REPORT OR LETTER PROVIDED TO THE SURVEYOR BY THE CLIENT, LIST THE CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, THE HEIGHT AND FLOOR SPACE AREA RESTRICTIONS, AND PARKING REQUIREMENTS. IDENTIFY THE DATE AND SOURCE OF THE REPORT OR LETTER. **(NONE PROVIDED)**
(B) IF THE ZONING SETBACK REQUIREMENTS ARE SET FORTH IN A ZONING REPORT OR LETTER PROVIDED TO THE SURVEYOR BY THE CLIENT, AND IF THOSE REQUIREMENTS DO NOT REQUIRE AN INTERPRETATION BY THE SURVEYOR, GRAPHICALLY DEPICT THE BUILDING SETBACK REQUIREMENTS. IDENTIFY THE DATE AND SOURCE OF THE REPORT OR LETTER. **(NONE PROVIDED)**
- (A) EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL.
(B) SQUARE FOOTAGE OF:
(1) EXTERIOR FOOTPRINT OF ALL BUILDINGS AT GROUND LEVEL. **(NONE FOUND)**
- MAJOR FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK (IN ADDITION TO THE IMPROVEMENTS AND FEATURES REQUIRED PURSUANT TO SECTION 5 ABOVE) (E.G., PARKING LOTS, BILLBOARDS, SIGNS, SWIMMING POOLS, LANDSCAPED AREAS, SUBSTANTIAL AREAS OF REFUSE). **(ON MAP OF SURVEY)**
- NUMBER AND TYPE (E.G., DISABLED, MOTORCYCLE, REGULAR AND OTHER MARKED SPECIALIZED TYPES) OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS, LOTS AND IN PARKING STRUCTURES. STRIPING OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS AND LOTS. **(NONE FOUND)**
- LOCATION OF UTILITIES (REPRESENTATIVE EXAMPLES OF WHICH ARE LISTED BELOW) EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY:
 - OBSERVED EVIDENCE. COLLECTED PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, EVIDENCE FROM PLANS REQUESTED BY THE SURVEYOR AND OBTAINED FROM UTILITY COMPANIES, OR PROVIDED BY CLIENT, AND MARKINGS BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES (WITH REFERENCE AS TO THE SOURCE OF INFORMATION.), AND
 - MARKINGS REQUESTED BY THE SURVEYOR PURSUANT TO AN 811 UTILITY LOCATE OR SIMILAR REQUEST

REPRESENTATIVE EXAMPLES OF SUCH UTILITIES INCLUDE, BUT ARE NOT LIMITED TO:

- MANHOLES, CATCH BASINS, VALVE VAULTS AND OTHER SURFACE INDICATIONS OF SUBTERRANEAN USES;
- WIRES AND CABLES (INCLUDING THEIR FUNCTION, IF READILY IDENTIFIABLE) CROSSING THE SURVEYED PROPERTY, AND ALL POLES ON OR WITHIN TEN FEET OF THE SURVEYED PROPERTY. WITHOUT EXPRESSING A LEGAL OPINION AS TO THE OWNERSHIP OR NATURE OF THE POTENTIAL ENCROACHMENT, THE DIMENSIONS OF ALL ENCROACHING UTILITY POLE CROSSMEMBERS OR OVERHANGS, AND
- UTILITY COMPANY INSTALLATIONS ON THE SURVEYED PROPERTY.

NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11(B), SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. **(ABOVEGROUND UTILITY LOCATION IS SHOWN ON MAP OF SURVEY)**

- NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS. IF MORE THAN ONE OWNER, IDENTIFY THE FIRST OWNER'S NAME LISTED IN THE TAX RECORDS FOLLOWED BY "ET AL." **(ON MAP OF SURVEY)**
- RECTIFIED ORTHOPHOTOGRAHY, PHOTOGRAMMETRIC MAPPING, REMOTE SENSING, AIRBORNE/MOBILE LASER SCANNING AND OTHER SIMILAR PROCESSES, TOOLS OR TECHNOLOGIES AS THE BASIS FOR THE SHOWING THE LOCATION OF CERTAIN FEATURES (EXCLUDING BOUNDARIES) WHERE GROUND MEASUREMENTS ARE NOT OTHERWISE NECESSARY TO LOCATE THOSE FEATURES TO AN APPROPRIATE AND ACCEPTABLE ACCURACY RELATIVE TO A NEARBY BOUNDARY. THE SURVEYOR SHALL (A) DISCUSS THE RAMIFICATIONS OF SUCH METHODOLOGIES (E.G., THE POTENTIAL PRECISION AND COMPLETENESS OF THE DATA GATHERED THEREBY) WITH THE INSURER, LENDER, AND CLIENT PRIOR TO THE PERFORMANCE OF THE SURVEY, AND (B) PLACE A NOTE ON THE FACE OF THE SURVEY EXPLAINING THE SOURCE, DATE, PRECISION, AND OTHER RELEVANT QUALIFICATIONS OF ANY SUCH DATA.
- EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. **(NONE FOUND)**
- PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, IF SUCH INFORMATION IS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION. EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. **(NOT APPLICABLE)**
- IF THERE HAS BEEN A FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST HIRED BY THE CLIENT, THE SURVEYOR SHALL LOCATE ANY DELINEATION MARKERS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK AND SHOW THEM ON THE FACE OF THE PLAT OR MAP. IF NO MARKERS WERE OBSERVED, THE SURVEYOR SHALL SO STATE. **(NONE FOUND)**
- INCLUDE ANY PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENTS OR SERVITUDE DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR AS A PART OF THE SURVEY PURSUANT TO SECTIONS 5 AND 6 (AND APPLICABLE SELECTED TABLE A ITEMS) (CLIENT TO OBTAIN NECESSARY PERMISSIONS). **(ON MAP OF SURVEY)**
- PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST, BUT THIS ITEM SHALL NOT BE ADDRESSED ON THE FACE OF THE PLAT OR MAP.

SCHEDULE BII EXCEPTIONS:

FIRST AMERICAN TITLE INSURANCE COMPANY

FILE NUMBER: CM096000461

COMMITMENT DATE: AUGUST 14, 2018, 08:00 AM

DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. **(NOT A SURVEY MATTER)**

ANY RIGHTS, INTERESTS, OR CLAIMS OF PARTIES IN POSSESSION OF THE LAND NOT SHOWN BY THE PUBLIC RECORDS. **(NOT A SURVEY MATTER)**

ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND. **(NONE FOUND)**

ANY LIEN, FOR SERVICES, LABOR, OR MATERIALS IN CONNECTION WITH IMPROVEMENTS, REPAIRS OR RENOVATIONS PROVIDED BEFORE, ON, OR AFTER DATE OF POLICY, NOT SHOWN BY THE PUBLIC RECORDS. **(NOT A SURVEY MATTER)**

ANY DISPUTE AS TO THE BOUNDARIES CAUSED BY A CHANGE IN THE LOCATION OF ANY WATER BODY WITHIN OR ADJACENT TO THE LAND PRIOR TO DATE OF POLICY, AND ANY ADVERSE CLAIM TO ALL OR PART OF THE LAND THAT IS, AT DATE OF POLICY, OR WAS PREVIOUSLY UNDER WATER. **(DOES NOT AFFECT THIS SURVEY)**

TAXES OR SPECIAL ASSESSMENTS NOT SHOWN AS LIENS IN THE PUBLIC RECORDS OR IN THE RECORDS OF THE LOCAL TAX COLLECTING AUTHORITY, AT DATE OF POLICY. **(NOT A SURVEY MATTER)**

ANY MINERALS OR MINERAL RIGHTS LEASED, GRANTED OR RETAINED BY CURRENT OR PRIOR OWNERS. **(NOT A SURVEY MATTER)**

THE STANDARD EXCEPTION FOR ANY MINERALS OR MINERAL RIGHTS LEASED, GRANTED OR RETAINED BY CURRENT OR PRIOR OWNERS IS HEREBY DELETED.

TAXES AND ASSESSMENTS FOR THE YEAR 2018 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE. **(NOT A SURVEY MATTER)**

NOTES FOR STANDARD EXCEPTIONS: STANDARD EXCEPTIONS FOR PARTIES IN POSSESSION, FOR MECHANICS LIENS, AND FOR TAXES OR SPECIAL ASSESSMENTS NOT SHOWN AS LIENS IN THE PUBLIC RECORDS SHALL BE DELETED UPON RECEIPT OF AN ACCEPTABLE NON-LIEN AND POSSESSION AFFIDAVIT ESTABLISHING WHO IS IN POSSESSION OF THE LANDS, THAT THERE ARE NO LIENS OR ENCUMBRANCES UPON THE LANDS OTHER THAN AS SET FORTH IN THE COMMITMENT, THAT NO IMPROVEMENTS TO THE LANDS HAVE BEEN MADE WITHIN THE PAST 90 DAYS OR ARE CONTEMPLATED TO BE MADE BEFORE CLOSING THAT WILL NOT BE PAID IN FULL, AND THAT THERE ARE NO UNRECORDED TAXES OR ASSESSMENTS THAT ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS. ANY POLICIES ISSUED HEREUNDER MAY BE SUBJECT TO A SPECIAL EXCEPTION FOR MATTERS DISCLOSED BY SAID AFFIDAVIT.

STANDARD EXCEPTION(S) FOR QUESTIONS OF SURVEY MAY BE DELETED UPON RECEIPT AND REVIEW OF A PROPERLY CERTIFIED SURVEY MEETING THE FLORIDA MINIMUM TECHNICAL STANDARDS FOR ALL LAND SURVEYS DATED NO MORE THAN 90 DAYS PRIOR TO CLOSING OR SUCH OTHER PROOF AS MAY BE ACCEPTABLE TO THE COMPANY. ANY POLICIES ISSUED HEREUNDER MAY BE SUBJECT TO A SPECIAL EXCEPTION FOR MATTERS DISCLOSED BY SAID SURVEY OR PROOF.

EASEMENT GRANTED TO FLORIDA POWER CORPORATION AS REFERRED TO IN INSTRUMENT RECORDED IN DEED BOOK HHH, PAGE 171. **(AFFECTS - SHOWN ON MAP OF SURVEY)**

EASEMENT GRANTED TO FLORIDA POWER CORPORATION BY INSTRUMENT RECORDED IN DEED BOOK KKK, PAGE 134. **(AFFECTS - SHOWN ON MAP OF SURVEY)**

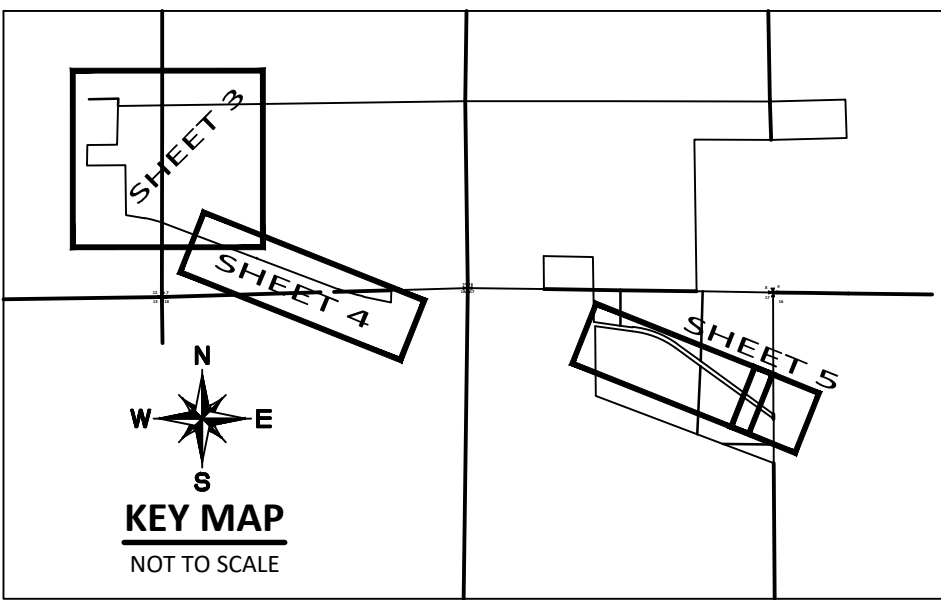
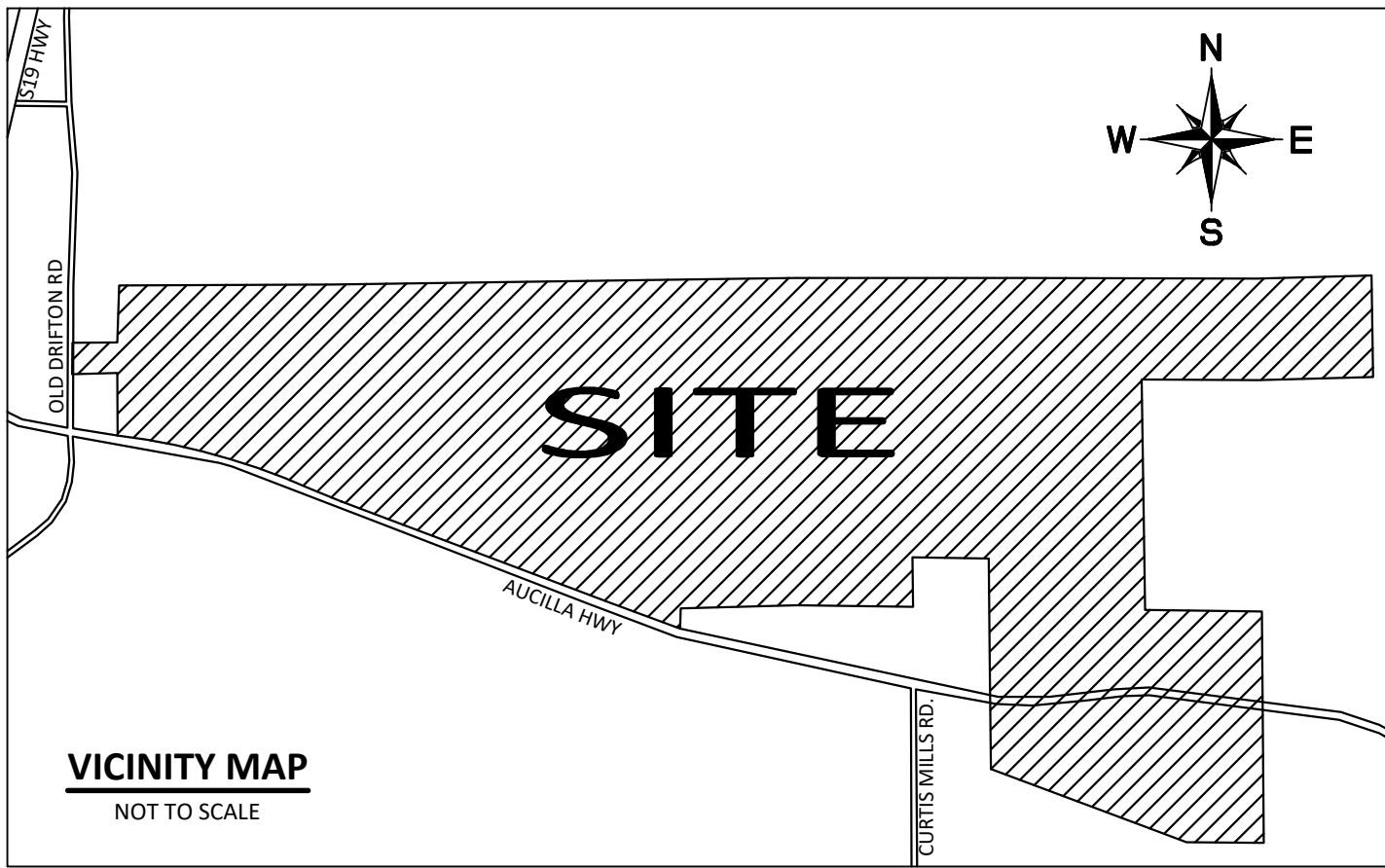
EASEMENT GRANTED TO FLORIDA POWER CORPORATION BY INSTRUMENT RECORDED IN BOOK 410, PAGE 8. **(AFFECT - SHOWN ON MAP OF SURVEY)**

SURVEYOR'S NOTES:

- DEED BEARINGS AND DISTANCES SHOWN HEREON ARE RELATIVE TO THE LEGAL DESCRIPTION PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY.
- FIELD BEARINGS AND DISTANCES ARE BASED ON THE MEASURED EAST LINE OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST. (BASIS OF BEARINGS: S00°13'34"E)
- THIS IS A BOUNDARY SURVEY, AS DEFINED IN CHAPTER SJ-17.050(10)(A)-(K) OF THE FLORIDA ADMINISTRATIVE CODE (FAC). MORE SPECIFICALLY THE PURPOSE OF THIS SURVEY, WAS TO CONVEY AN ALTA/NSPS SURVEY. THE REQUIREMENTS FOR AN ALTA/NSPS SURVEY ARE DEFINED IN THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS" (EFFECTIVE FEBRUARY 23, 2016).
 - THE REDUNDANT RTK (REAL TIME KINEMATIC) OBSERVATIONS WERE PERFORMED TO ESTABLISH THE PRIMARY NETWORK CONTROL. THE OBSERVATIONS WERE PERFORMED ON MARCH 23, 2020.
 - A FIELD TRAVERSE WAS USED TO ESTABLISH INTERMITTENT CONTROL BETWEEN THE GPS POINTS.
 - HORIZONTAL CONTROL IS BASED ON FLORIDA STATE PLANE COORDINATE NORTH (903) NAD (NORTH AMERICAN DATUM) 1983/2011ADJ.
- THE HORIZONTAL CONTROL NETWORK WAS COMPLETED UTILIZING A TOPCON HYPERLITE RECEIVER. THE CONTROL FOR THIS SURVEY IS BASED ON REDUNDANT RTK (REAL TIME KINETIC) OBSERVATIONS BASED ON FPRN (FLORIDA PERMANENT REFERENCE NETWORK).
 - THE REDUNDANT RTK (REAL TIME KINEMATIC) OBSERVATIONS WERE PERFORMED TO ESTABLISH THE PRIMARY NETWORK CONTROL. THE OBSERVATIONS WERE PERFORMED ON MARCH 23, 2020.
 - A FIELD TRAVERSE WAS USED TO ESTABLISH INTERMITTENT CONTROL BETWEEN THE GPS POINTS.
 - HORIZONTAL CONTROL IS BASED ON FLORIDA STATE PLANE COORDINATE NORTH (903) NAD (NORTH AMERICAN DATUM) 1983/2011ADJ.
- THE ACCURACY STANDARD USED FOR THE HORIZONTAL CONTROL FOR THIS SURVEY, AS CLASSIFIED IN THE STANDARDS OF PRACTICE(SJ-17.051 FAC) IS "RURAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 5,000 FEET, THE ACCURACY OBTAINED EXCEEDS THIS REQUIREMENT.
- ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
- PROPERTY LINES SHOWN HEREON WERE COMPUTED FROM THE EXISTING PUBLIC RECORDS OF JEFFERSON COUNTY, FLORIDA AND ARE BASED ON FOUND MONUMENTATION. MONUMENT SYMBOLS ARE NOT TO SCALE.
- INSTRUMENTS OF RECORD REFLECTING EASEMENTS, ENCUMBRANCES, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE NOT FURNISHED TO THIS SURVEYOR, EXCEPT AS SHOWN. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP OR OTHER DEEDS OF RECORD. THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY WAS USED TO CONVEY THE AFOREMENTIONED ITEMS.
- SURVEYOR'S LIABILITY FOR THE DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITIES WITHOUT AN EXPRESSED RE-CERTIFICATION BY WHOSE SIGNATURE APPEARS.
- NO UNDERGROUND UTILITIES, FOUNDATIONS OR IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED EXCEPT AS SHOWN, NO S.U.E (SUBSURFACE UTILITY EXPLORATION) OR G.P.R. (GROUND PENETRATING RADAR) WERE UTILIZED DURING THE SURVEY. SUNSHINE 811 WAS UTILIZED AND ANY MARKED UTILITY WAS LOCATED AND SHOWN ON THIS SURVEY.
- ABOVE GROUND UTILITIES SHOWN WERE LOCATED BY FIELD OBSERVATIONS. UTILITIES SYMBOLS ARE NOT TO SCALE.
- THIS PROPERTY LIES WITHIN ZONES "X" & "AE" (NO BE E ESTABLISHED) OF THE CURRENT FEMA FLOOD RATE MAPS AND IS REFLECTED ON THE SURVEY. THE MAP IDENTIFICATION IS JEFFERSON COUNTY UNINCORPORATED AREAS, FLORIDA. PANEL NUMBERS 12065C 0200C & 12065C 0325C WITH A REVISION DATE OF 2/5/2014. NO GRAPHIC DEPICTION OF THE FLOOD ZONE HAVE BEEN SHOWN ON THIS SURVEY.
- THIS SURVEY DOES NOT INCLUDE THE LOCATION OF ANY POSSIBLE WETLAND OR JURISDICTIONAL BOUNDARIES.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- WETLANDS SHOWN ON THIS MAP WERE NOT LOCATED BY THIS SURVEYOR. THE WETLANDS WERE LOCATED BY A THIRD PARTY AND ARE SHOWN GRAPHICALLY TO APPROXIMATE THEIR IMPACT ON THE DESCRIBED PROPERTY.

LEGEND & ABBREVIATIONS:

C = CHORD DISTANCE		FOUND PERMANENT REFERENCE MONUMENTS
(C) = CALCULATED		FOUND PERMANENT REFERENCE MONUMENTS
CB = CHORD BEARING		
E = EAST		SET 5/8" REBAR & CAP (UNLESS NOTED) (CAP STAMPED: "1B 6605")
EB = ENGINEERING BUSINESS		
FAC = FLORIDA ADMINISTRATIVE CODE		
L = ARC LENGTH		
LB = LICENSED BUSINESS		
LS = LICENSED SURVEYOR		
N = NORTH		SECTION CORNER
NTS = NOT TO SCALE		
ORB = OFFICIAL RECORDS BOOK		
PB = PLAT BOOK		CONCRETE POWER POLE
PG = PAGE		WOOD POWER POLE
PRM = PERMANENT REFERENCE MONUMENT		WOOD POWER POLE
POC = POINT OF COMMENCEMENT		WOOD POWER POLE
POB = POINT OF BEGINNING		WOOD POWER POLE
PSM = PROFESSIONAL SURVEYOR AND MAPPER		WOOD POWER POLE
R = RADIUS		WOOD POWER POLE
RGE = RANGE		WOOD POWER POLE
S = SOUTH		WOOD POWER POLE
SEC = SECTION		WOOD POWER POLE
TWP = TOWNSHIP		WOOD POWER POLE
W = WEST		WOOD POWER POLE



SHEET INDEX:

SHEET 1
LEGAL DESCRIPTIONS, TABLE A, SCHEDULE BII EXCEPTIONS, VICINITY MAP, KEY MAP, SHEET INDEX, LEGEND, CERTIFICATIONS, SIGNATURE & SEAL

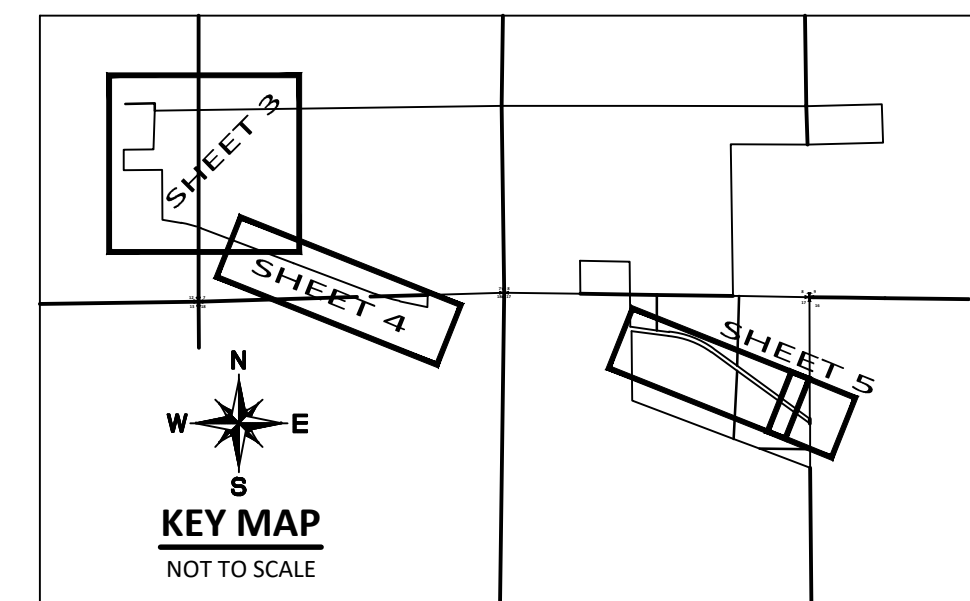
SHEET 2
OVERALL BOUNDARY (500 SCALE)

SHEETS 3 THROUGH 5
SITE IMPROVEMENTS ALONG RIGHT-OF-WAYS (100 SCALE)

SURVEYOR'S CERTIFICATE:

TO: FRESH AIR ENERGY II, LLC - DRIFTON P33 PROJECT
FIRST AMERICAN TITLE INSURANCE COMPANY

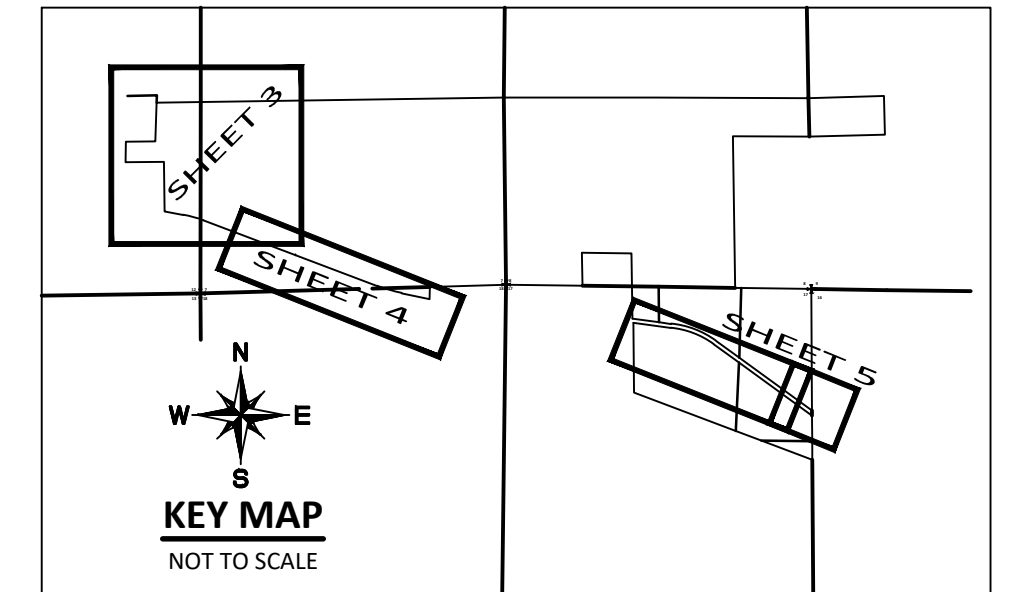
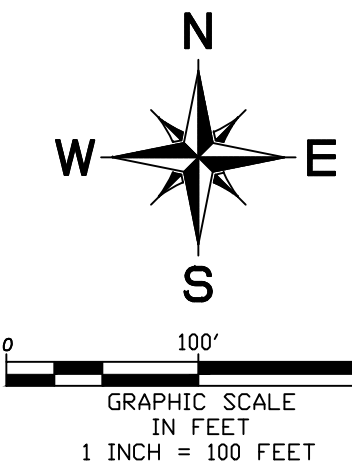
FOR
881 AC SOLAR - AUCILLA ROAD, MONTICELLO - JEFFERSON COUNTY, FLORIDA 32344
PORTIONS OF SECTIONS 7, 8, 9, 17 & 18, TOWNSHIP 1 NORTH, RANGE 5 EAST &
A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 4 EAST
OVERALL BOUNDARY
SHEET 2 OF 5



THIS SHEET IS NOT VALID WITHOUT SHEET 1

MAP OF ALTA/NSPS LAND TITLE SURVEY

FOR
881 AC SOLAR - AUCILLA ROAD, MONTICELLO - JEFFERSON COUNTY, FLORIDA 32344
PORTIONS OF SECTIONS 7, 8, 9, 17 & 18, TOWNSHIP 1 NORTH, RANGE 5 EAST &
A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 4 EAST
RIGHT-OF-WAY SHEETS
SHEET 3 OF 5



PARCEL ID: 12-1N-4E-0000-0011-0000
OWNER: WHEELER HAROLD RANDALL, ET AL
ADDRESS: 423 OLD DRIFTON RD
MONTICELLO, FLORIDA 32344
(NOT INCLUDED)

**SOLID BOLD LINE
DENOTES PARCEL BOUNDARY**

— 15" DRAINAGE PIPE

— WIRE FENCE WITH GATE

A cross-sectional diagram of a road drainage system. At the top, a horizontal line represents the ground surface, with four segments labeled "OH-E". Below this, a dashed horizontal line indicates the level of the "DIRT DRIVE". Below the dirt drive, a solid horizontal line represents the "15\" DRAINAGE PIPE". At the bottom, a thick, dark horizontal band represents the "GRAVEL ROADWAY WITH CONCRETE GUTTERS".

**SOLID BOLD LINE
DENOTES PARCEL BOUNDARY**

WETLANDS (TYP)
(AS LOCATED BY THIRD PARTY)

WETLANDS (TYP)
(AS LOCATED BY THIRD PARTY)

NEW PARCEL# 2

PARCEL ID: 07-1N-5E-0000-0010-0000
OWNER: CHAMBERLIN LLOYD W III, ET AL
ADDRESS: AUCILLA RD., MONTICELLO, FLORIDA 32344
ORB 723 PG 492
CONTAINING 353.99 ± ACRES

NEW PARCEL# 2
PARCEL ID: 12-1N-4E-0000-0014-0000
OWNER: CHAMBERLIN LLOYD W III, ET AL
ADDRESS: OLD DRIFTON RD., MONTICELLO, FLORIDA 32344
ORB 723 PG 492
CONTAINING 35.99 ± ACRES

WETLANDS (TYP)
(AS LOCATED BY THIRD PARTY)

SUBJECT PARCEL

AUCILLA ROAD, MONTICELLO
FLORIDA 32344

WETLANDS (TYP)
(AS LOCATED BY THIRD PARTY)

AUCILLA ROAD
FORMERLY KNOWN AS
FR. EDGE

PER FDOT RIGHT-OF-WAY MAP SECTION NO. 5453-150)

WIRE FENCE —
CORNER 0.43' W

SOLID BOLD LINE
DENOTES PARCEL BOUNDARY

WIRE FENCE 1.3' S
CONCRETE HEADWALL WITH
60"x60" BOX CULVERT

— GATE
— WIRE FENCE 2.6' S
— CABLE RISER (TYP)

CONCRETE
POWER POLE (TYP)

— CONCRETE HEADWALL (BROKEN
WITH 36" PIPE

— CABLE RISER (TYP)

— WOOD
POWER POLE (TYP)

WIRE FENCE
ONLINE

CABLE RISER (TYPE)

CABLE RISER (TYP)

— CONCRETE
POWER POLE (TYP)

10' WIDE FLORIDA POWER CORPORATION
TREE TRIMMING/REMOVAL EASEMENT
PER ORB 413, PAGE 363

— WOOD
POWER POLE (TYP)

**SOLID BOLD LINE
DENOTES PARCEL BOUNDARY**

CONCRETE HEADWALL
WITH 36" PIPE

CONCRETE—
HEADWALL
WITH 36" PIPE

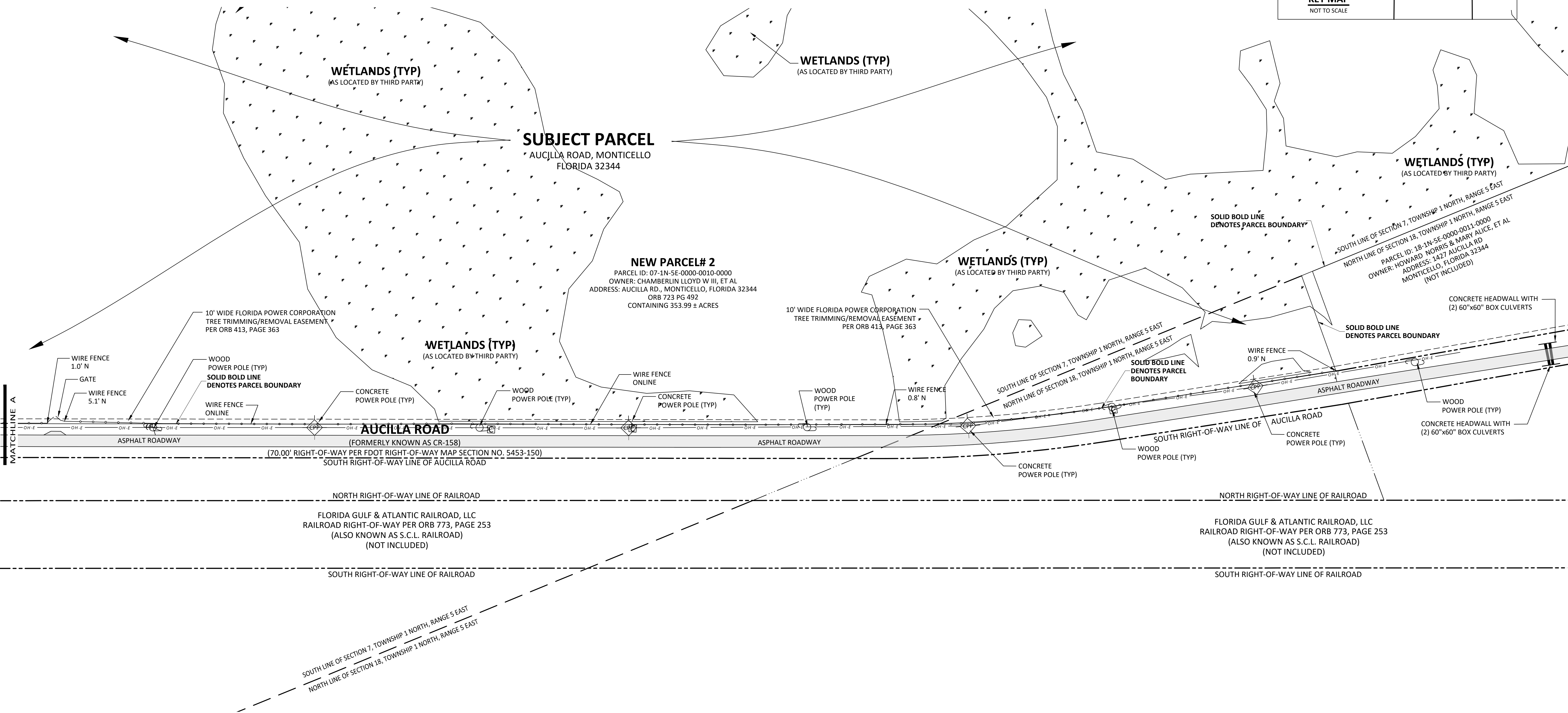
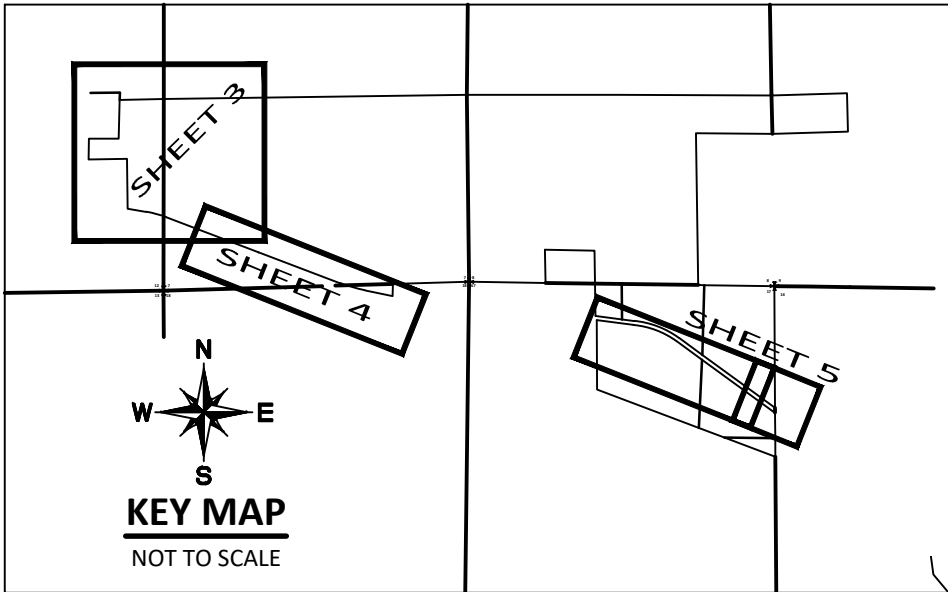
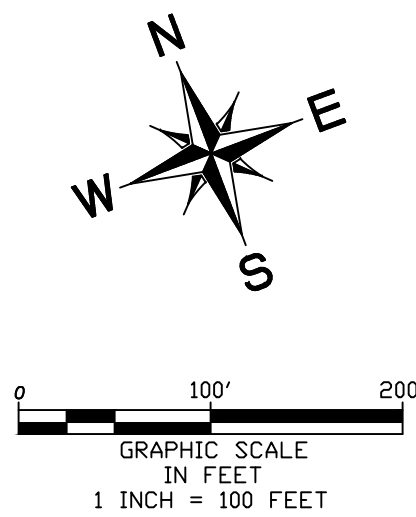
FLORIDA GULF & ATLANTIC RAILROAD, LLC
RAILROAD RIGHT-OF-WAY PER ORB 773, PAGE 253
(ALSO KNOWN AS S.C.L. RAILROAD)
(NOT INCLUDED)

THIS SHEET IS NOT VALID WITHOUT SHEET 1

[illegible]

MAP OF ALTA/NSPS LAND TITLE SURVEY

FOR
881 AC SOLAR - AUCILLA ROAD, MONTICELLO - JEFFERSON COUNTY, FLORIDA 32344
PORTIONS OF SECTIONS 7, 8, 9, 17 & 18, TOWNSHIP 1 NORTH, RANGE 5 EAST &
A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 4 EAST
RIGHT-OF-WAY SHEETS
SHEET 4 OF 5



DATE		REVISION	
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5

Job No. 20-0044.000	FIELD DATE 05/27/2020	P.L. 550
Scale 1:500	Section 7, 8, 9, 12 & 17	Page 1-18
Township 1 NORTH	Range 4 & 5 EAST	REVIEW AMP
DRAWN JAC	CHECKED BY J. ALICE	

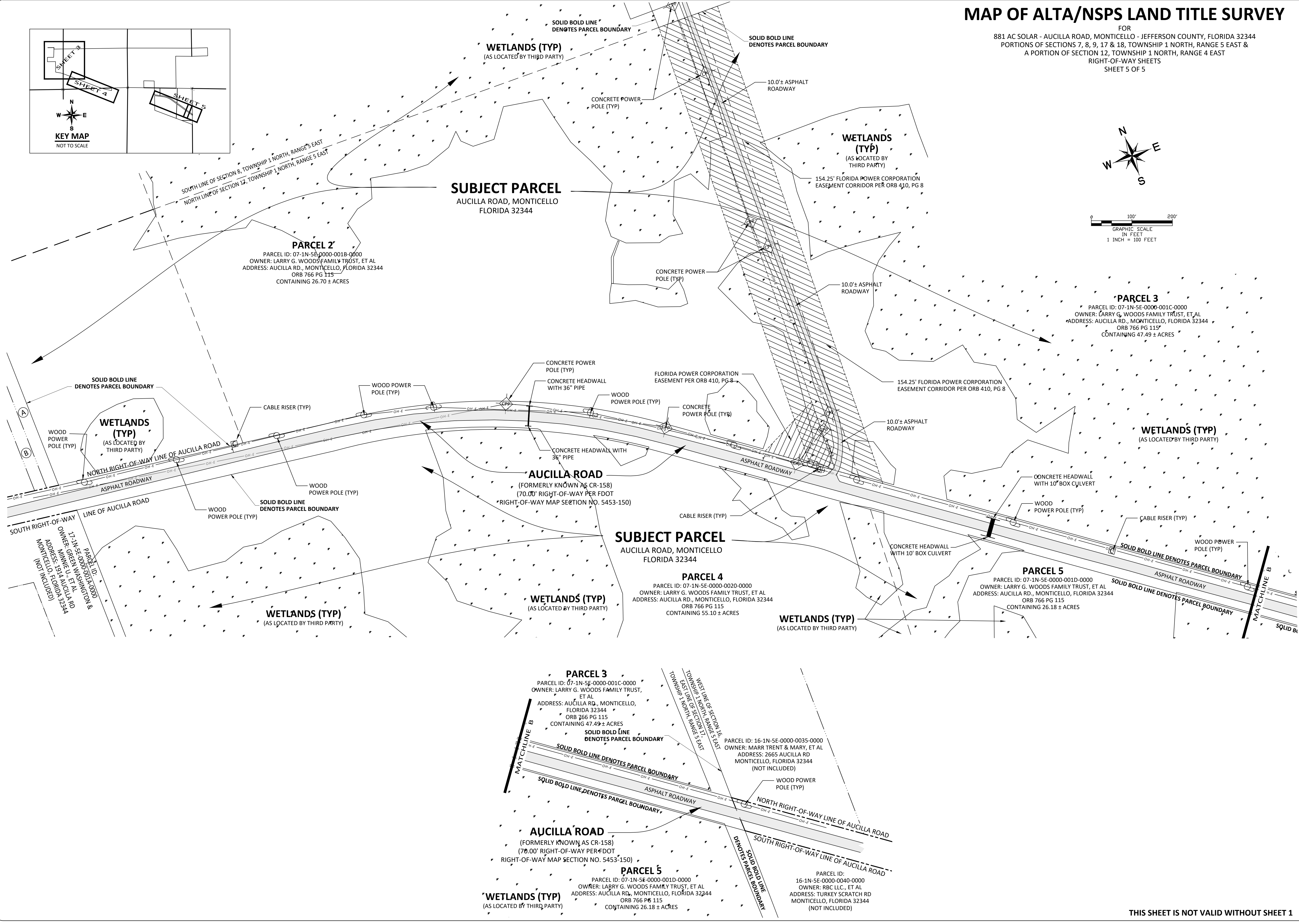
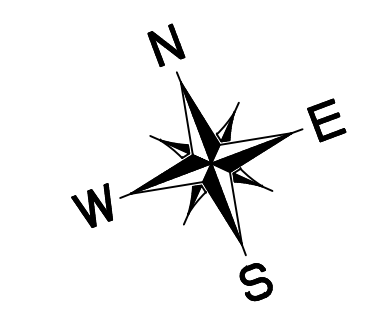
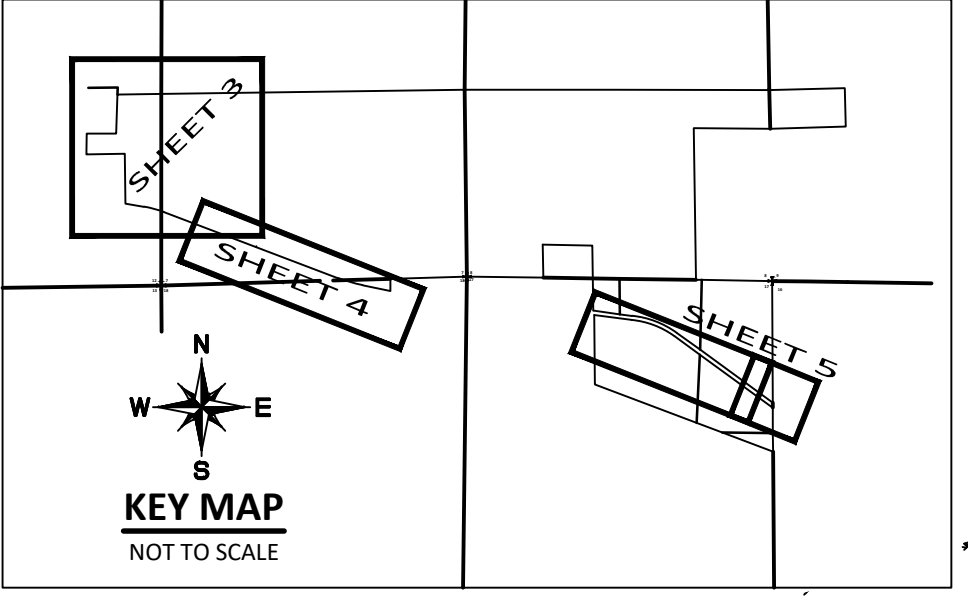
1012 EMMETT STREET KISSIMMEE, FL 34744 CERTIFICATE OF AUTHORIZATION: 30389 WWW.SURVEYBYJESURVEY.COM E-MAIL: SURVEY@JESURVEY.COM	N. GENERAL VPW Franklin Materials Logo VPW Franklin.org
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DRAWING	SHEET 4 OF 5
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THIS SHEET IS NOT VALID WITHOUT SHEET 1

MAP OF ALTA/NSPS LAND TITLE SURVEY

FOR
881 AC SOLAR - AUCILLA ROAD, MONTICELLO - JEFFERSON COUNTY, FLORIDA 32344
PORTIONS OF SECTIONS 7, 8, 9, 17 & 18, TOWNSHIP 1 NORTH, RANGE 5 EAST &
A PORTION OF SECTION 12, TOWNSHIP 1 NORTH, RANGE 4 EAST
RIGHT-OF-WAY SHEETS
SHEET 5 OF 5



MAP OF ALTA/NSPS LAND TITLE SURVEY

AUCILLA ROAD, MONTICELLO - JEFFERSON COUNTY, FLORIDA 32344

1012 EMMETT STREET
KISSIMEE, FL 32744
N. GENERAL VORN Franklin Materials Logo NFW Franklin.org
CERTIFICATE OF AUTHORIZATION: 32889
WWW.FRANKLINMATERIALS.COM
E-MAIL: SURVEY@FRANKLINMATERIALS.COM

DRAWING

SHEET 5 OF 5

DATE	1
REVISION	2
FIELD DATE: 05/22/2020	3
P.L.S. 1500	4
Scale: 1"=100'	5
Section: 7, 8, 9, 12 & 17	
Township: 1 NORTH	
Range: 4 & 5 EAST	
REVIEW: JWP	
DRAWN: JAC	
CHECKED BY: J. PALICE	



Drifton PV1 Solar Facility

Stormwater Management Methodology Memorandum

Prepared for:

Fresh Air Energy II, LLC
101 Second Street, STE. 1250
San Francisco, CA 94105

Prepared by:

Kimley-Horn & Associates, Inc.
1920 Wekiva Way, Suite 200
West Palm Beach, FL 33411



PROJECT SITE DESCRIPTION

The Fresh Air Energy II, LLC. is proposing to construct the Drifton PV1 solar facility (Project). The Project is located east of US-19 and is approximately 0.5 miles northeast of Drifton, within Sections 7, 8, 9, 17, and 18 of Township 1N, Range 5E and Section 12, Township 1N, Range 4E of Jefferson County, FL. The proposed project site is composed of the properties with the parcel numbers 07-1N-5E-0000-0010-0000, 08-1N-5E-0000-0011-0000, 12-1N-4E-0000-0014-0000, 08-1N-5E-0000-0030-0000, 17-1N-5E-0000-001B-0000, 17-1N-5E-0000-001C-0000, 17-1N-5E-0000-0020-0000, 17-1N-5E-0000-001D-0000, 17-1N-5E-0000-002P-0000. The Project will consist of the construction of a 70 megawatt (MW) solar facility and will connect to the existing Duke Energy substation facility located near the eastern perimeter of the project site. This memorandum summarizes the proposed methodology for the stormwater management analysis of the Project's pre and post development conditions.

EXISTING CONDITIONS

The Project site area is approximately 676 acres and consist of partially open pastures, wetlands and woodlands. Currently the Project site is utilized for silviculture and agricultural land use. Existing soils at the Project site are predominantly Type A, C & A/D Hydrologic Soil Group soils when saturated. Soils with Hydrologic Soil Group of A/D will be assessed with Type D Curve Numbers. Refer to the national wetland inventory and NCRS soil map attached to this memorandum.

According to FEMA there are several areas located throughout the Project site categorized as Special Flood Hazard Areas (SFHA) Zone A (without a base flood elevation). FEMA map showing FIRM Panel Nos. 12065C0175C, 12065C0200C, 12065C0325C and 12065C0300C are attached to this memorandum. The Project site is bisected by the FLHUC12 boundary line and is located within both the Beasley Creek and Gress Swamp watersheds. According to the USGS lidar data, stormwater runoff generally sheet flows towards the southeast perimeter of the Project site. Refer to the watershed boundary & drainage basin map, and USGS lidar map attached to this memorandum.

PROPOSED CONDITIONS

From the total Project site area, approximately 273 acres will be utilized for the development of the solar facility. The solar facility development will consist of solar panel structures, perimeter fencing, internal gravel access roads and other associated equipment. Proposed land cover will consist primarily of grassed opens space within the limits of the solar panel areas. The Project proposes zero impacts to the 180+/- acres of existing wetlands located within the Project area. Additionally, the Project's post development condition will maintain a 80' buffer between the solar facility and existing wetlands.

WATER QUALITY METHODOLOGY

The post-developed Project condition will include the installation of approximately 8 acres of impervious area, accounting for a small percentage (approximately 1.18%) of the overall project area. During the operation phase of the Solar facility, vehicular traffic will be minimal and limited to maintenance of the equipment. Therefore, water quality impacts associated with the use of the access paths is considered negligible. Stormwater treatment of impervious area runoff will comprise of the following:

- Large grassed opens space areas within the limits of the solar panel array will provide water quality treatment via surface filtration, absorption, deposition, and infiltration.
- Areas outside the solar facility limits will not be disturbed during construction and existing land cover types will remain intact.
- Access paths will be constructed at grade to maintain existing drainage flow patterns.

- Dry retention systems sized to attenuate the water quality treatment volume for runoff from 1-inch of rainfall from the contributing areas as required by North West Florida Water Management District (“NFWFMD”).

STORMWATER MANAGEMENT METHODOLOGY

The Project’s development approach is to minimize the impacts to existing site conditions. The Project’s stormwater management design methodology will focus on the following:

- Low impact to existing site hydrology
- Preserving existing drainage features and surface flow patterns
- Limiting fill proposed for equipment pads and substation
- Minimizing total site earthwork and maintain existing topography

The Project’s pre-development and post-development conditions will be analyzed utilizing the following design storm events:

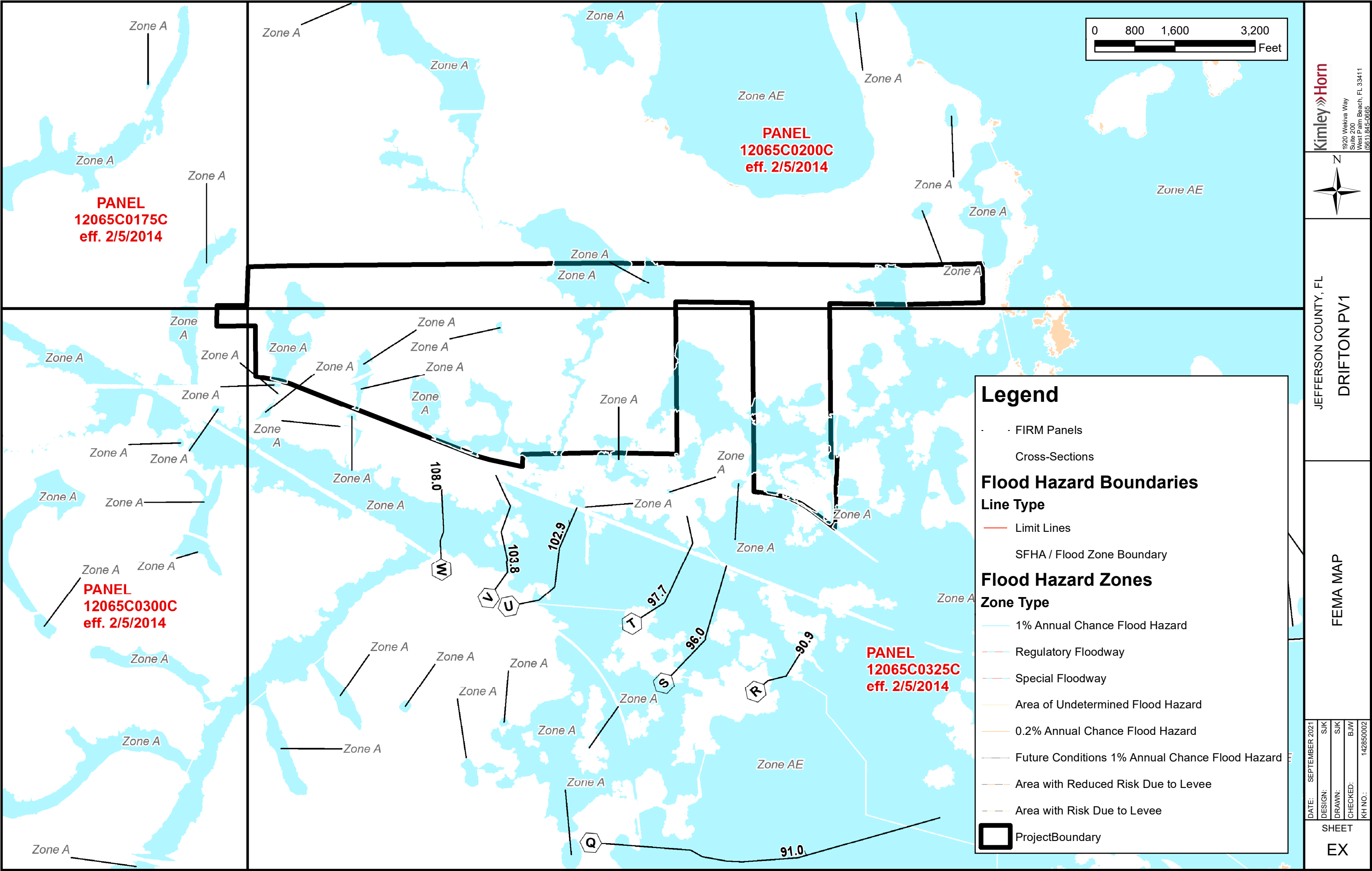
- 2-year, 24-hour storm with a rainfall depth of 4.9”,
- 25-year, 24-hour storm with a rainfall depth of 9.2”,
- 25-year, 96-hour storm with a rainfall depth of 11.2”,
- 100-year, 24-hour storm with a rainfall depth of 12.2”,

The above rainfall depth are provided by NOAA Atlas 14, and will be used as the basis for the hydrologic analysis. The rainfall will be distributed using the NCRS Type III rainfall distribution. The SCS Curve Number method will be utilized to calculate hydrologic loss. The Project site area will be modeled using ICPRv4 hydrologic and hydraulic modeling software.

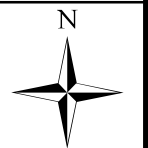
Due to the minimal amount of additional impervious area proposed for this project, as well as the limited amount of grading typically done for a solar site, existing drainage patterns will largely remain the same. Dry retentions systems and other stormwater measures are proposed at multiple locations across the Project. The dry retentions areas are sized to ensure that post-development runoff volume as a result from the design storm events will not increase from the Project’s pre-development conditions. The Project’s stormwater management system will be designed to be consistent with the stormwater quality and quantity requirements set forth by the Florida Department of Environmental Protection and the NFWFMD.

Attachments

FEMA Map
National Wetland Inventory Map
NCRS Soil Type Map
Watershed Boundary & Drainage Basin Map
USGS Lidar Map



Kimley»Horn
1920 Welkiva Way
Suite 200
West Palm Beach, FL 33411
(561) 845-0666



JEFFERSON COUNTY, FL
DRIFTON PV1

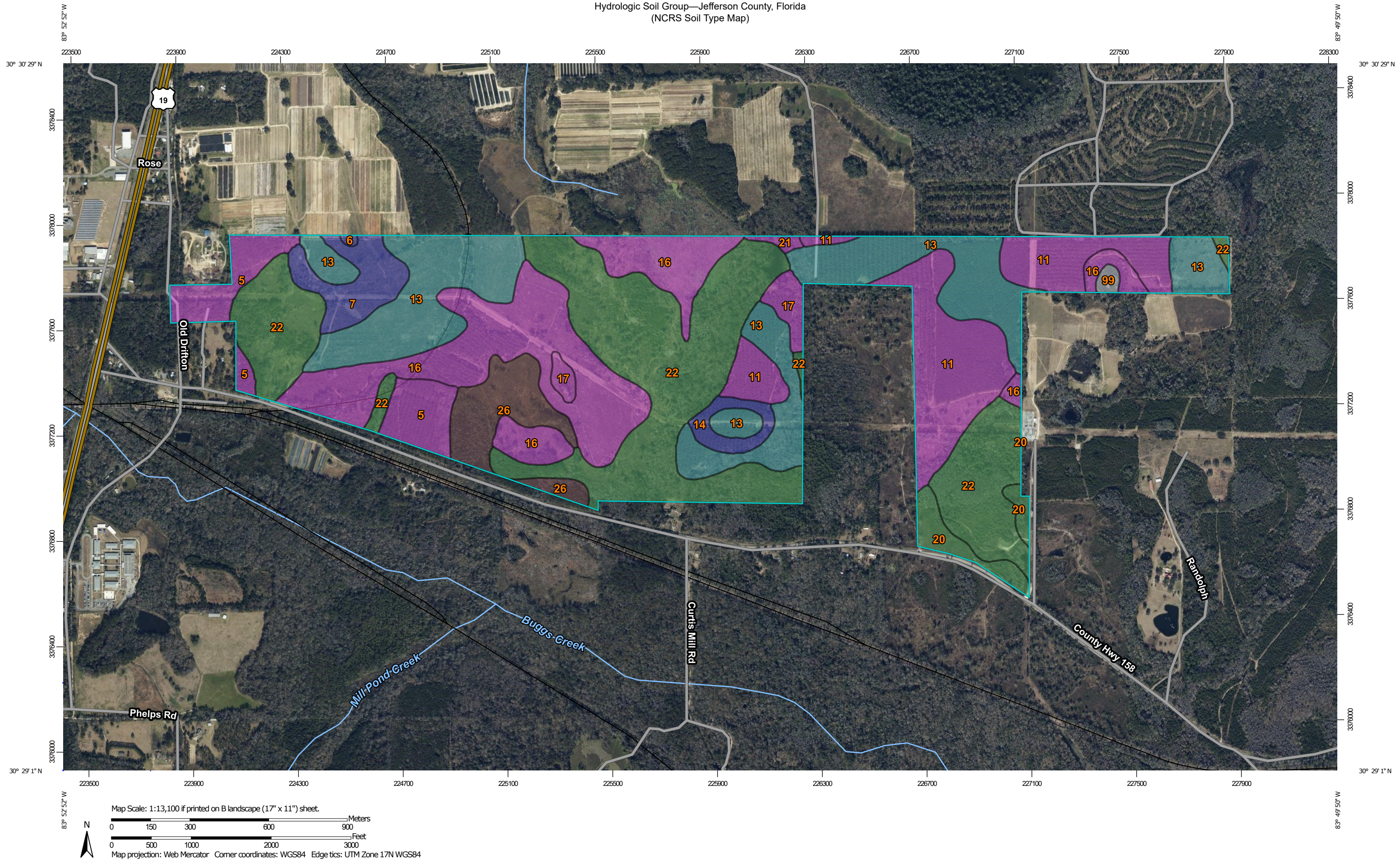
FEMA MAP

DATE:	SEPTEMBER 2021	SJK
DESIGN:		SJK
DRAWN:		B/JW
CHECKED:		
KH NO.:	142850002	

SHEET
EX

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Hydrologic Soil Group—Jefferson County, Florida
(NCRS Soil Type Map)

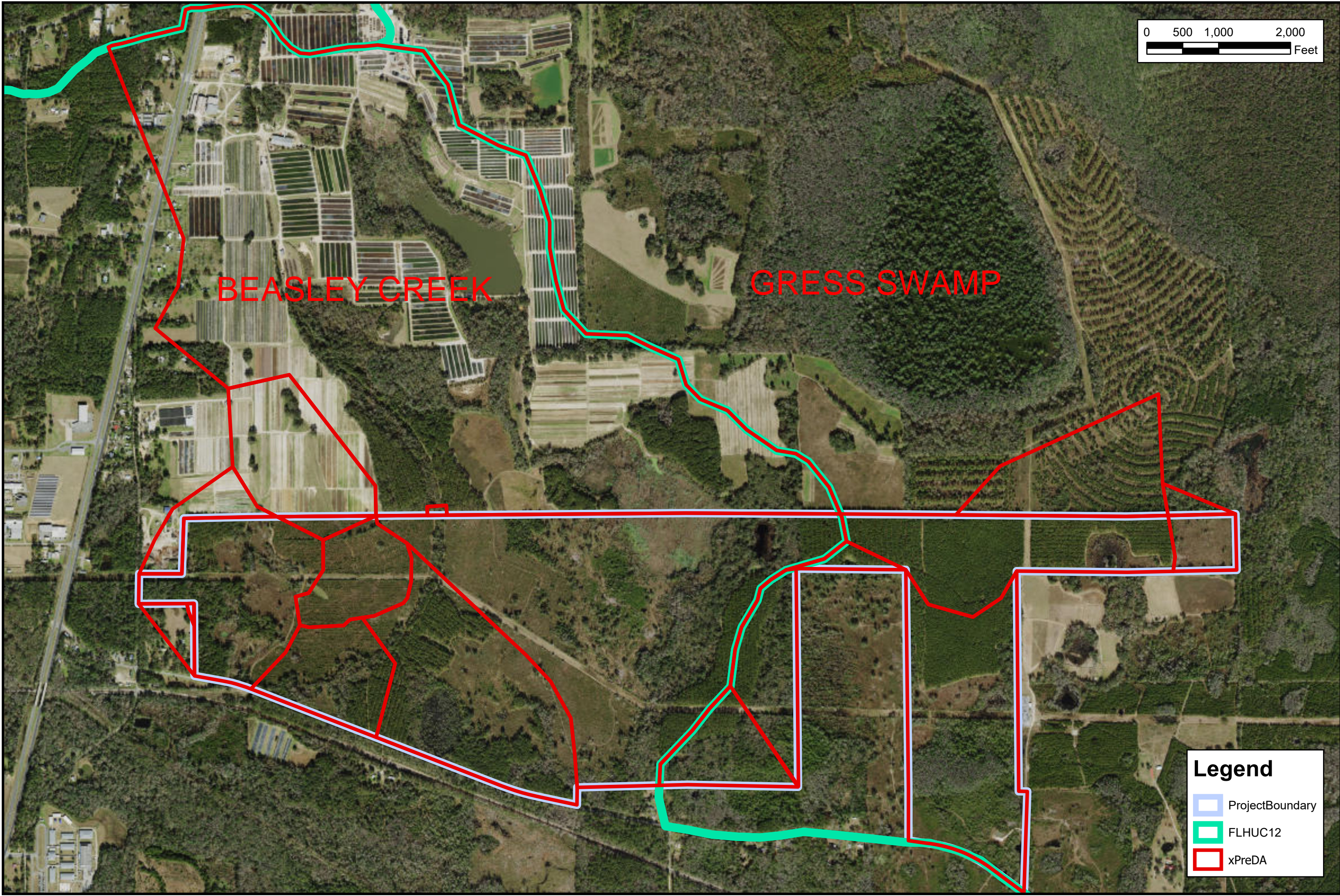


Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

Hydrologic Soil Group




Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
5	Fuquay fine sand, 0 to 5 percent slopes	A	34.5	5.1%
6	Dothan loamy fine sand, 2 to 5 percent slopes	B	0.6	0.1%
7	Dothan loamy fine sand, 5 to 8 percent slopes, eroded	B	21.9	3.3%
11	Lucy loamy fine sand, 0 to 5 percent slopes	A	86.6	12.9%
13	Orangeburg sandy loam, 2 to 5 percent slopes	C	140.1	20.9%
14	Orangeburg sandy loam, 5 to 8 percent slopes, moderately eroded	B	8.5	1.3%
16	Blanton fine sand, 0 to 5 percent slopes	A	121.5	18.1%
17	Troup fine sand, 0 to 5 percent slopes	A	9.9	1.5%
20	Albany sand, 0 to 2 percent slopes	A/D	13.4	2.0%
21	Bonifay fine sand, 0 to 5 percent slopes	A	1.8	0.3%
22	Plummer fine sand	A/D	200.3	29.8%
26	Sapelo fine sand	B/D	30.1	4.5%
99	Water		2.0	0.3%
Totals for Area of Interest			671.2	100.0%

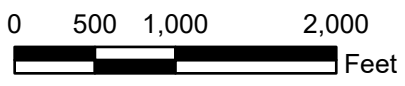




BEASLEY CREEK

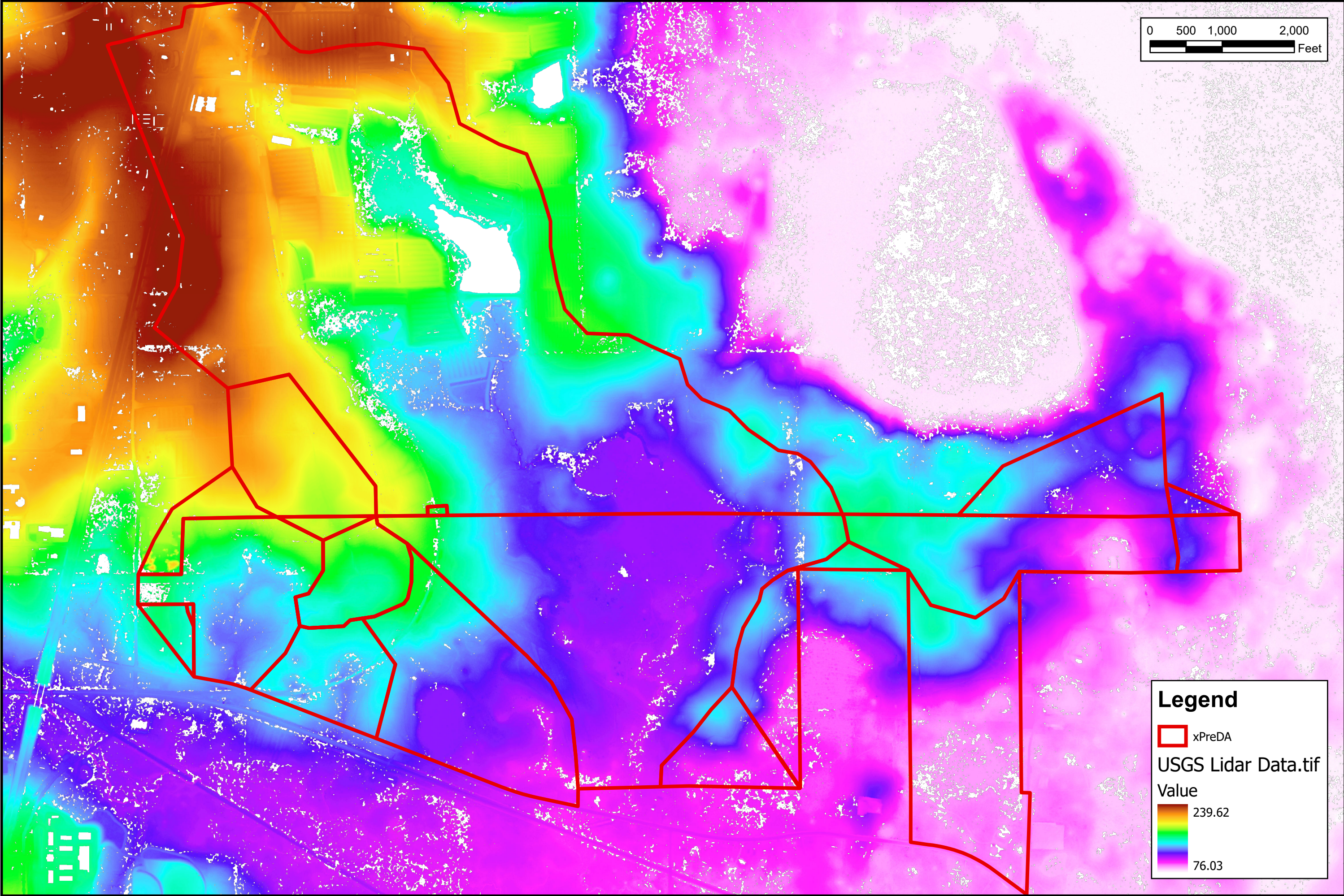
GRESS SWAMP

Legend

-  ProjectBoundary
-  FLHUC12
-  xPreDA



DATE: SEPTEMBER 2021		SJK	
DESIGN:		SJK	
DRAWN:		B.W.	
CHECKED:		KH NO. 142850002	
SHEET		EX	
Watershed Boundary & Drainage Basin Map			
Jefferson County, FL DRIFTON PV1			
			
 1020 Wekiva Way Suite 200 West Palm Beach, FL 33411 (561) 845-0888 Phone			



DATE: SEPTEMBER 2021

DESIGN: SJK

DRAWN: SJK

CHECKED: B.W.

KH NO.: 142850002

SHEET

EX

USGS Lidar Map

Jefferson County, FL

DRIFTON PV1

Kimley»Horn

1920 Wekiva Way
Suite 200
West Palm Beach, FL 33411
(561) 845-0888 Phone

Legend

xPreDA

USGS Lidar Data.tif

Value

239.62

76.03



**Drifton PV1 Solar Facility
Decommissioning Plan**

Fresh Air Energy II, LLC

November 6, 2020

TABLE OF CONTENTS

1 INTRODUCTION	1
1.1 PROJECT DESCRIPTION	1
1.2 SPECIAL USE PERMIT REQUIREMENTS	1
1.3 PURPOSE OF REPORT	1
1.4 FINANCIAL ASSURANCES FOR DECOMMISSIONING	2
2 DECOMMISSIONING AFTER CEASING OPERATION	2
2.1 EQUIPMENT DISMANTLING AND REMOVAL	3
2.1.1 <i>PV Modules</i>	3
2.1.2 <i>Electrical Equipment, Buildings, and Foundations</i>	3
2.1.3 <i>Roads, Parking Areas, and Maintenance Buildings</i>	4
2.1.4 <i>Other Components</i>	4
2.2 SITE RESTORATION	4
2.3 DECOMMISSIONING NOTIFICATION	5
ATTACHMENT A: LANDOWNER AND PARCEL INFORMATION	6
ATTACHMENT B: DECOMMISSIONING AGREEMENT	9

1. Introduction

1.1. Project Description

Fresh Air Energy II, LLC (the applicant) is proposing to construct the Drifton PV1 Solar facility (the project), which is a 70 megawatt ac solar photovoltaic facility sited in Jefferson County situated on a total of approximately 270± acres of land. This project is located directly north of the Drifton-Aucilla Road, along Highway US-19, and adjacent to Randolph Road. The project will be developed land currently owned by Lloyd W. Chamberlin and Larry G. Woods. Parcel information is provided in Attachment A.

Construction of the Project is estimated to begin in Spring of 2022, and is anticipated to require approximately 12 to 13 months to complete, with Project commissioning anticipated by the end of 2023. It is expected that the Project will be operational for at least the duration of 35 years, after which it may be decommissioned if no arrangement for further use is determined.

1.2. Jefferson County Solar Ordinance Requirements

According to the Jefferson County Solar Ordinance (No. 2020-091720-01), both a Special Exception Permit and a Major Development Plan are required for the development of a Large Scale Solar Photovoltaic Collector Systems. Special Exception Permits and the associated Major Development plan are reviewed by the Jefferson County Planning Commission and authorized by the Jefferson County Board of County Commissioners in order to ensure development compliance with its surrounding environment. Section 2.11.4, Subsection 12 (i and ii), of the Solar Ordinance outlines the requirements for a decommissioning plan. This report is being prepared to ensure compliance with these requirements.

1.3. Purpose of Report

This report will explain how the applicant proposes to restore the proposed project site to a clean and safe condition at the end of the project life. Project decommissioning will include retiring all elements of the renewable energy generation facility such as solar panels, electrical equipment, poles, piles, foundation and conduits (above and below ground). Additionally, the applicant will be responsible for renewing the land to its previous use, and will ensure that all excess materials are accordingly managed. Assurance of project decommissioning will be detailed in this report in order to provide financial security that the decommissioning will be addressed.

1.4. Financial Assurance for Decommissioning

Given that the facility is entirely comprised of high value materials-- solar modules, steel, and copper-- it is understood that the resale, salvage, or recycling value of the components will exceed the cost of decommissioning. The solar modules themselves can be reused or recycled at the end of the life of the Project. The remaining components, primarily steel, aluminum and copper wiring are non-renewable resources that can be almost infinitely recycled with minimal degradation.

The estimated decommissioning and site restoration costs for the Drifton PV1 Solar facility are provided in Attachment B. This engineering estimate is signed and sealed, and addressed all of the costs of fully implementing the project decommissioning plan. These cost estimates were determined by Ballentine Associates, P.A., a third-party civil engineering firm specialized in solar farm design, and have calculated a net gain of approximately \$1,135,281.42 in total decommissioning and salvage value costs. This net gain was calculated using the salvage unit cost and total salvage value, removal unit cost, and total cost to remove and restore the site.

In response to the Jefferson County Solar Ordinance, Section 2.11.4, Subsection 12, the Applicant will be providing surety bond of 150% of the engineer's estimated cost to implement the decommissioning plan. The estimated cost of implementing the decommissioning plan may be reduced based on the salvage value of any materials of equipment only if such salvage is also reassessed as part of periodic update of the engineer's estimate of costs for implementing the decommissioning plan. As a result, the Applicant is offering a \$50,000 bond to cover the administrative cost of decommissioning and agrees to provide updates of an engineer's estimate of cost to the decommissioning plan **including the decommissioning and salvage value estimates every five years.** Additionally, if the salvage values decrease, the Applicant will account for this difference and add this change in value to the existing decommissioning estimates *and surety bond*. After this, **the Applicant will increase value reassessment of decommissioning estimates and provide the resulting updates to the Jefferson County Board of County Commissioners every two years moving forward.**

2. Decommissioning After Ceasing Operation

The contractor of the project will ensure that the entire project area is restored back to its pre-construction condition. This will include rehabilitating the site to its successional vegetation land use or as may be applicable at that time. The decommissioning will be conducted in accordance with all applicable local, state, and federal requirements.

During decommissioning, mitigation measures similar to those used for a construction site (such as sediment and erosion controls) will be implemented and maintained by the Contractor and inspected by the Contractor's Environmental Site Inspector. The Contractor will be responsible for preparing and submitting environmental monitoring reports to the Contractor's Project Manager to ensure conformance with applicable regulatory requirements. With the implementation of this process, no adverse impacts to the environment are expected as a result of decommissioning the solar facility.

2.1. Equipment and Dismantling and Removal

All decommissioning and removal of electrical devices, equipment, and wiring/cabling will be conducted in accordance with local, state, and federal standards and guidelines. Equipment to be removed will include all solar panels, electrical equipment, poles, piles, foundation and above and below ground conduits. All electrical decommissioning will include obtaining the required permits and following of appropriate lockout/tag out procedures before de-energizing, isolating, and disconnecting electrical devices, equipment, and wiring/cabling.

2.1.1. PV Modules

PV Modules will be disconnected, removed from racking, packaged, and transported to a designated location for resale, recycling, or disposal. Any disposal or recycling will be done in accordance with local by-laws and requirements. The junction boxes will be de-energized, disconnected and removed. The racking system will be unbolted and disassembled and vertical steel posts supporting the racks will be completely removed by mechanical equipment and transported off-site for salvage or reuse. Any demolition debris that is not salvageable will be transported by truck to an approved disposal facility.

2.1.2. Electrical Equipment, Buildings, and Foundations

Decommissioning will require dismantling and removal of the electrical equipment, including inverters, transformers, underground cables, and overhead lines, the prefabricated inverter enclosures, and any electrical switchgear, unless otherwise agreed upon with landowner. The equipment will be disconnected and transported off-site. The larger concrete slab foundations and support pads will be broken up by mechanical equipment and removed from the site. Smaller support pads will be removed from the site intact. Prior to removal of the transformers, the oil will be pumped into a separate industry-approved disposal container and sealed to prevent any spill during storage and/or transportation. Equipment and materials may be salvaged for resale or scrap value depending on the market conditions.

2.1.3. Roads, Parking Area and Maintenance Building

Unless retained for other purposes, all access roads, any parking area, and the maintenance enclosure will be removed to allow for the complete restoration of these areas. If applicable, any granular base (i.e. gravel) covering these areas would be removed and the aggregates hauled to a recycling facility or approved disposal facility. The underlying subsoil, if exhibiting significant compaction beyond what originally existed, will be restored reasonably to original soil structure and aerated. Clean topsoil may also be imported and replaced over the area to match existing grade if appropriate. Additionally, the area will be seeded with native plant species for erosion control, depending on the time of year and subsequent planned use of the land.

2.1.4. Other Components

Unless retained for other purposes, removal of all other facility components from the site will be completed, including but not limited to surface drains, culverts, and fencing. Any materials deemed reusable shall be recovered and reused. All other remaining components will be considered as waste and managed according to local, state, and federal requirements. For safety and security reasons, fencing will be the final component dismantled and removed from the site.

2.2. Site Restoration

The project will not include any permanent changes to the original land use of the land. Therefore, it will be possible to restore the site to its pre-construction condition by ensuring:

- a) Site cleanup, followed by general surface grading, if necessary, restoration of surface drainage swales, ditches and tile drains (if present).
- b) Any excavation and/or trenching caused by the removal of building or equipment foundations, rack supports and underground electrical cables will be backfilled with the appropriate material and leveled to match the pre-existing ground surface.
- c) Prepared soil with all the nutrients required for crops to grow will be spread as necessary.
- d) Native vegetation will be planted as appropriate to provide a rapid return of nutrients and soil structure, and protect against erosion.

2.3 Decommissioning Notification

Prior to initiating any decommissioning activities, the Contractor will notify the local authorities, including the Prince George Community Development & Code Compliance staff and the local fire department, the public, and other relevant parties of the Contractor's intent to decommission the Project. All applicable local, state, and/or federal permits will be required prior to all decommissioning activities.

Attachment B.

Decommissioning Agreement

Decommissioning Plan for: Drifton PV1 Solar Facility

Date: November 6, 2020.

Prepared and Submitted by: Fresh Air Energy II, LLC

Decommissioning will occur as a result of any of the following conditions:

1. The land lease ends
2. The system does not produce power for 12 months
3. The system is damaged and will not be repaired or replaced

The operator of the facility will meet the tasks listed in this exhibit as a minimum to decommission the project. All said removal and decommissioning shall occur within 12 months of the facility ceasing to produce power for sale. The operator of the solar energy facility is responsible for this decommissioning. Nothing in this plan relieves any obligation that the real estate property owner or Jefferson County may have to remove the facility as outlined in the Special Exception Permit in the event the operator of the facility does not fulfil this obligation.

Applicant is offering a \$50,000 bond to cover the administrative cost of decommissioning and agrees to provide updates of an engineer's estimate of cost to the decommissioning plan including the decommissioning and salvage value estimates every five years. Additionally, if the salvage values decrease, the Applicant will account for this difference and add this change in value to the existing decommissioning estimates *and surety bond*. After this, the Applicant will increase value reassessment of decommissioning estimates and provide the resulting updates to the Jefferson County Board of County Commissioners every two years moving forward.

The operator of the solar facility will provide Jefferson County Board of County Commissioners and the Register of Deeds with an updated signed decommissioning plan within 30 days of the change of the solar facility owner or operator.

Solar Energy Facility Operator Signature: _____

Date: _____

Jefferson County Representative Signature: _____

Date: _____

November 15, 2021

Shannon Metty
Jefferson County Planning Official
445 W. Palmer Mill Road
Monticello, FL 32344

RE: Fresh Air Energy II, LLC – Drifton PV1 Solar Facility
Special Exception Permit and Major Development Applications

Dear Ms. Metty,

In addition to the Drifton PV1 Solar Facility Special Exception Permit and Major Development Site Plan, we would like to submit the following reports and assessments in order to provide Jefferson County with as much information on the project as possible.

Attachment A - Tree Survey Report

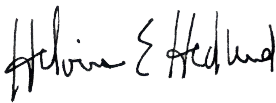
Attachment B - Threat & Endangered Species Report

Attachment C - Solar Impact Study

Attachment D - Florida DEP Petition for a Formal Wetland Determination

We will also be bringing with us an updated ALTA Report as well as the Cultural Report, which will be available to staff and Commissioners during the hearing. We appreciate your time and assistance with this project.

Sincerely,

A handwritten signature in black ink that reads "Heloise Hedlund". The signature is written in a cursive, flowing style.

Heloise Hedlund
Permitting Specialist



Mitchell L. McElroy
Private Forester, Inc.
P O Box 945
Monticello, FL 32345

850.997.4103 O
850.997.0425 F
850.545.3453 M
mlmpfi@embarqmail.com

Tree Location Report

Date: May 11, 2020

Tract Name: Chamberlin (Lloyd W. Chamberlin III)

Location: Jefferson County, FL
Sections 7, 8, 9 Township 1N Range 5E
Section 12 Township 1N Range 4E

Produced by: Byron D. Love

Introduction

A tree locating and recording project was conducted on the subject tract owned by Mr. Lloyd W. Chamberlain III. This tract is located on Aucilla Road in Jefferson County, FL (Figure 1).

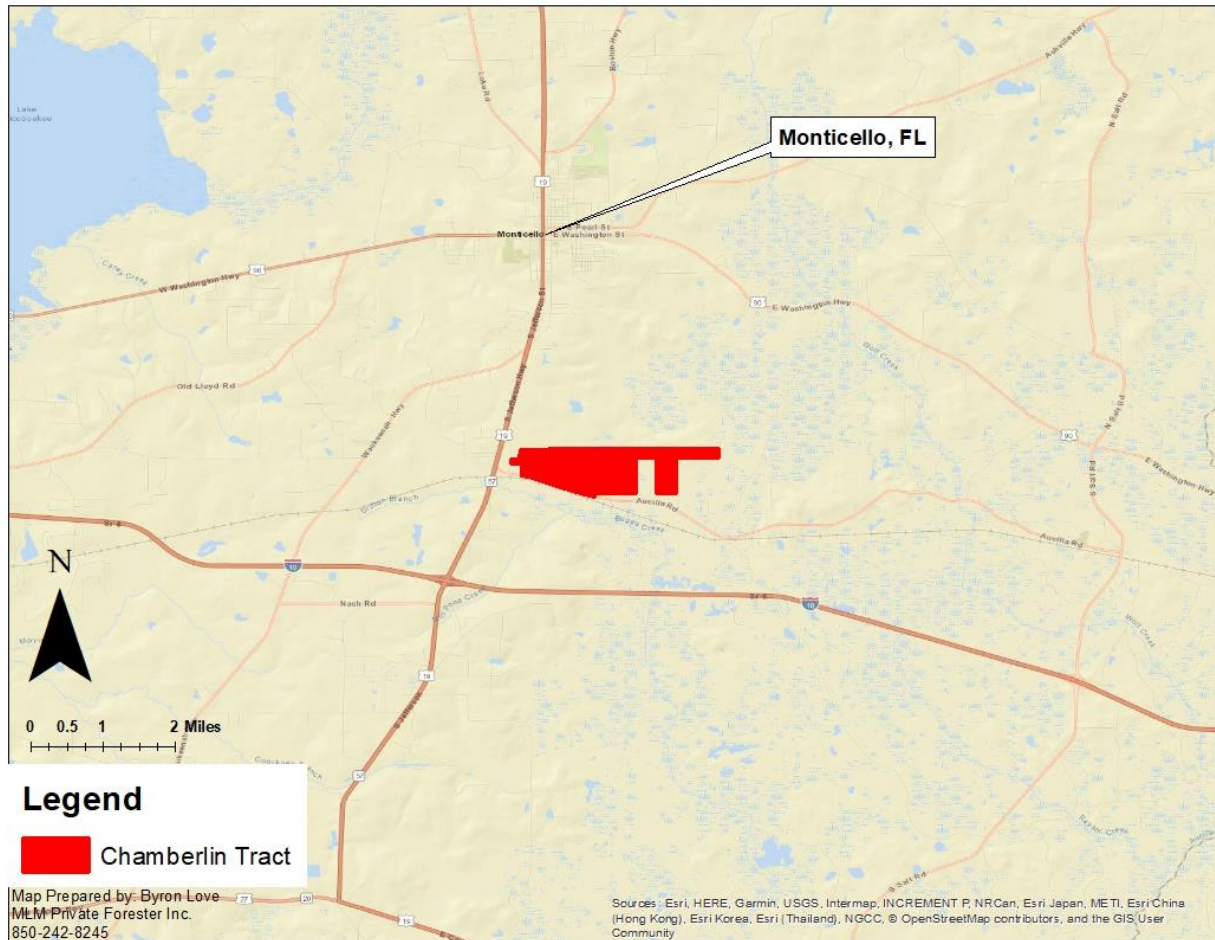


Figure 1. Location map of the Chamberlin tract in Jefferson County, FL.

This project was done at the request of Ecoplexus, Inc. with the intent of locating all trees in upland (non-wetland) areas on the subject property with a diameter-at-breast-height (DBH) measurement equal to or greater than 36.0 inches. Each tree was located on foot, its DBH measured and recorded to the nearest inch, the tree species recorded, a GPS coordinate taken, and the tree was marked near ground level with blue tree marking paint.

Results

A total of 172 trees were located that met the qualification of being in a non-wetland area and having a DBH measurement equal to or greater than 36 inches. DBH measurements ranged from 36 inches up to 80 inches. Live oak was the most common tree species located but others included water oak, cherry, sweetgum, and magnolia (Appendix I).

Qualifying trees were located all throughout the tract with the highest density of them being located near the middle of the tract. Most of the trees were found in old fence rows, near property lines, near wetlands, and in areas that have not experienced much human disturbance in recent years (Figure 2).



Figure 2. Tree locations on the Chamberlin tract in Jefferson County, FL.

*Disclaimer: A best effort was made to locate **ALL** trees that met the specified qualifications. However, there is the possibility that a small number of trees were missed due to poor access to their location. Likewise, due to insufficient marking of wetland boundaries and property boundaries, some trees may have been recorded that fall slightly outside of the subject area. *

Appendix I

Tree #	Specie	DBH (inches)	Latitude	Longitude
1	Live Oak	70	30.300708	-83.504866
2	Cherry	38	30.300718	-83.503739
3	Live Oak	57	30.300716	-83.502347
4	Water Oak	40	30.300711	-83.502341
5	Live Oak	55	30.300725	-83.501823
6	Live Oak	40	30.300729	-83.501372
7	Live Oak	64	30.300112	-83.502654
8	Live Oak	36	30.295654	-83.503609
9	Live Oak	61	30.295531	-83.503642
10	Live Oak	45	30.295453	-83.503586
11	Live Oak	36	30.295229	-83.503641
12	Live Oak	43	30.295127	-83.503612
13	Live Oak	36	30.295108	-83.503684
14	Live Oak	57	30.295095	-83.503767
15	Live Oak	50	30.295205	-83.503793
16	Live Oak	39	30.294997	-83.503662
17	Live Oak	36	30.294775	-83.503658
18	Live Oak	58	30.294873	-83.503718
19	Live Oak	37	30.29528	-83.504965
20	Live Oak	36	30.294564	-83.504726
21	Live Oak	42	30.294479	-83.504926
22	Live Oak	72	30.300112	-83.505259
23	Water Oak	42	30.300111	-83.505721
24	Live Oak	40	30.300155	-83.505717
25	Live Oak	40	30.300105	-83.505822
26	Live Oak	55	30.300155	-83.50588
27	Live Oak	50	30.300083	-83.505924
28	Live Oak	46	30.30015	-83.510118
29	Live Oak	36	30.300145	-83.510663
30	Live Oak	68	30.300413	-83.510584
31	Live Oak	36	30.300484	-83.51056
32	Live Oak	45	30.300487	-83.510556
33	Live Oak	38	30.300258	-83.510841
34	Live Oak	44	30.300214	-83.510867
35	Live Oak	42	30.300214	-83.510715
36	Live Oak	40	30.300077	-83.510751
37	Live Oak	42	30.300063	-83.510755

38	Live Oak	48	30.295967	-83.510632
39	Live Oak	40	30.300053	-83.510596
40	Live Oak	58	30.295942	-83.51062
41	Live Oak	50	30.295917	-83.510672
42	Live Oak	38	30.295779	-83.51074
43	Live Oak	56	30.295747	-83.510794
44	Live Oak	48	30.295644	-83.510745
45	Live Oak	36	30.295636	-83.510749
46	Live Oak	59	30.29553	-83.510844
47	Live Oak	36	30.295404	-83.511018
48	Live Oak	39	30.295147	-83.511066
49	Live Oak	38	30.295181	-83.511065
50	Live Oak	50	30.294921	-83.510979
51	Live Oak	60	30.294885	-83.511002
52	Live Oak	43	30.294907	-83.511083
53	Live Oak	51	30.294843	-83.511051
54	Live Oak	38	30.294702	-83.511122
55	Live Oak	53	30.294688	-83.511091
56	Live Oak	54	30.294672	-83.511054
57	Live Oak	58	30.294544	-83.511177
58	Live Oak	36	30.295984	-83.510701
59	Live Oak	68	30.294252	-83.511344
60	Live Oak	36	30.294271	-83.511274
61	Live Oak	45	30.294334	-83.511186
62	Live Oak	53	30.294353	-83.511161
63	Live Oak	65	30.294099	-83.511304
64	Live Oak	37	30.293865	-83.511575
65	Live Oak	61	30.293936	-83.511573
66	Live Oak	48	30.294038	-83.51162
67	Live Oak	55	30.294118	-83.511568
68	Live Oak	54	30.294087	-83.511652
69	Live Oak	45	30.294073	-83.511765
70	Live Oak	37	30.293846	-83.511917
71	Live Oak	54	30.294007	-83.511908
72	Live Oak	44	30.29376	-83.512266
73	Live Oak	43	30.294242	-83.512537
74	Live Oak	36	30.294141	-83.512649
75	Live Oak	80	30.294553	-83.512311
76	Live Oak	42	30.294733	-83.512156
77	Live Oak	54	30.294818	-83.512194
78	Live Oak	38	30.294815	-83.512019
79	Live Oak	70	30.29479	-83.511942

80	Live Oak	38	30.294876	-83.511921
81	Live Oak	48	30.294927	-83.511942
82	Live Oak	50	30.294923	-83.511929
83	Live Oak	36	30.294914	-83.511888
84	Live Oak	47	30.295177	-83.512003
85	Live Oak	37	30.295322	-83.511988
86	Live Oak	51	30.295182	-83.51187
87	Live Oak	59	30.295695	-83.511631
88	Live Oak	70	30.295633	-83.511675
89	Live Oak	63	30.295623	-83.511709
90	Live Oak	54	30.29546	-83.511743
91	Live Oak	38	30.295422	-83.511787
92	Live Oak	36	30.295343	-83.51177
93	Live Oak	38	30.295346	-83.511906
94	Live Oak	46	30.295398	-83.511943
95	Live Oak	47	30.295434	-83.512007
96	Live Oak	44	30.295514	-83.511957
97	Live Oak	47	30.295408	-83.511924
98	Live Oak	36	30.295646	-83.511767
99	Live Oak	48	30.295697	-83.511757
100	Live Oak	41	30.295751	-83.51171
101	Live Oak	43	30.295732	-83.511709
102	Live Oak	56	30.295852	-83.511763
103	Live Oak	40	30.295964	-83.511638
104	Live Oak	43	30.295939	-83.511529
105	Live Oak	36	30.295953	-83.511488
106	Live Oak	38	30.295985	-83.511462
107	Live Oak	50	30.295964	-83.511426
108	Live Oak	46	30.300131	-83.511501
109	Live Oak	51	30.300269	-83.511576
110	Live Oak	44	30.300393	-83.511633
111	Live Oak	37	30.300699	-83.511188
112	Live Oak	39	30.300512	-83.511399
113	Live Oak	53	30.300538	-83.511305
114	Live Oak	38	30.300506	-83.51122
115	Live Oak	55	30.300404	-83.511253
116	Live Oak	43	30.300418	-83.511402
117	Live Oak	46	30.300349	-83.511333
118	Live Oak	78	30.300315	-83.51129
119	Live Oak	50	30.300305	-83.511281
120	Live Oak	37	30.300256	-83.511215
121	Live Oak	41	30.300213	-83.511168

122	Live Oak	49	30.300117	-83.511003
123	Live Oak	49	30.300133	-83.511003
124	Live Oak	56	30.300068	-83.510983
125	Live Oak	48	30.30012	-83.511293
126	Live Oak	48	30.300176	-83.51128
127	Live Oak	46	30.300116	-83.511403
128	Live Oak	55	30.300055	-83.511352
129	Live Oak	60	30.300027	-83.511329
130	Live Oak	72	30.295365	-83.511654
131	Live Oak	49	30.294139	-83.512967
132	Live Oak	43	30.295167	-83.513592
133	Live Oak	79	30.295714	-83.51445
134	Live Oak	40	30.29407	-83.514397
135	Live Oak	40	30.294074	-83.514397
136	Live Oak	38	30.293804	-83.514935
137	Live Oak	38	30.293791	-83.515006
138	Live Oak	37	30.29398	-83.515066
139	Live Oak	68	30.29406	-83.514926
140	Live Oak	42	30.29433	-83.515107
141	Live Oak	63	30.294371	-83.515075
142	Live Oak	63	30.295312	-83.520069
143	Live Oak	36	30.2953	-83.52011
144	Water Oak	43	30.294989	-83.520264
145	Live Oak	37	30.29476	-83.52105
146	Live Oak	37	30.294725	-83.521605
147	Live Oak	39	30.294583	-83.521327
148	Live Oak	48	30.29467	-83.520893
149	Live Oak	45	30.294563	-83.520813
150	Live Oak	46	30.294496	-83.520883
151	Live Oak	43	30.29469	-83.520594
152	Live Oak	40	30.294931	-83.520447
153	Live Oak	40	30.295819	-83.515719
154	Live Oak	56	30.300479	-83.515573
155	Water Oak	38	30.300336	-83.515592
156	Water Oak	40	30.30011	-83.515581
157	Live Oak	38	30.300138	-83.521377
158	Sweetgum	57	30.3005	-83.520706
159	Live Oak	38	30.300372	-83.520315
160	Live Oak	60	30.300645	-83.52034

161	Live Oak	48	30.300579	-83.522218
162	Live Oak	63	30.300536	-83.522103
163	Live Oak	52	30.300577	-83.522342
164	Live Oak	44	30.295239	-83.522759
165	Live Oak	38	30.295099	-83.522732
166	Live Oak	48	30.295033	-83.522434
167	Live Oak	52	30.295139	-83.5224
168	Sweetgum	38	30.295924	-83.521291
169	Water Oak	36	30.295938	-83.521396
170	Live Oak	41	30.29523	-83.521634
171	Live Oak	48	30.295375	-83.521663
172	Magnolia	48	30.294887	-83.522229

**DRIFTON SOLAR PV1
THREATENED AND ENDANGERED
SPECIES REPORT**

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ECT No. 200128-0400

July 2020

DOCUMENT REVIEW

The dual signatory process is an integral part of Environmental Consulting & Technology, Inc.'s (ECT's) Document Review Policy No. 9.03. All ECT documents undergo technical/peer review prior to dispatching these documents to any outside entity.

This document has been authored and reviewed by the following employees:

Brandon Gray
Author



Signature

July 10, 2020
Date

Colleen Reilly
Peer Review



Signature

July 10, 2020
Date

TABLE OF CONTENTS

<u>Section</u>	<u>Page</u>
1.0 INTRODUCTION	1-1
2.0 METHODOLOGY	2-1
3.0 GENERAL LISTED SPECIES SURVEY RESULTS	3-2
3.1 LISTED SPECIES DISCUSSION	3-4
4.0 PERMITTING CONSIDERATIONS	4-1

APPENDICES

APPENDIX A – STANDARD PROTECTION MEASURES FOR THE EASTERN INDIGO SNAKE

LIST OF TABLES

Table 3-1. Listed Wildlife Species Observed or Potentially Occurring on the Drifton Solar Project Site

LIST OF FIGURES

- Figure 1. Location Map
- Figure 2. Gopher Tortoise Burrow Location Map
- Figure 3. Listed Species Map

1.0 INTRODUCTION

The Endangered Species Act of 1973 (50 CFR Part 17) is the primary law protecting threatened and endangered plants and animals and the habitats in which they are found. The U.S. Fish and Wildlife Service (USFWS) administers the program to provide protection of these species and has the ability to authorize incidental take of species of habitats. The State of Florida has state-listed endangered, threatened or species of special concern animals that are protected State Rule 68A-27 of the Florida Administrative Code (F.A.C.) and implemented by the Florida Fish and Wildlife Conservation Commission (FWC) via. The State of Florida lists plants as endangered, threatened, and commercially exploited and are administered and maintained by the Florida Department of Agriculture and Consumer Services (FDACS) via Chapter 5B-40, F.A.C.

All project developments in the State of Florida require assessments to verify the presence/absence of State and/or federally listed species and any unique or critical habitats that could potentially support them, identify and map the location of any observed listed species, assess the potential impacts to listed species or critical habitats from proposed development, and determine appropriate minimization and mitigation measures for any potential impacts to listed species. Environmental Consulting & Technology, Inc. (ECT) was contracted by Ecoplexus, Inc. to conduct a threatened and endangered species survey and assess the potential for impacts to listed species on the ±881.81 project area located north of Aucilla Road in Drifton, Jefferson County (i.e. Section 12, Township 1 North, Range 4 East and Sections 7, 8, and 17, Township 1 North, Range 5 East) (see Figure 1). The methods, results, and conclusions of the listed species survey are provided in this report.

2.0 METHODOLOGY

ECT evaluated the project area for threatened or endangered species that are protected by the FWC under State Rule 68A-27 of the Florida Administrative Code (F.A.C.) or by the USFWS under 50 CFR Part 17. This survey was intended as a preliminary assessment to identify listed species that occur or have potential to utilize the project area based on available habitats and may pose constraints to future proposed development.

ECT ecologists conducted general wildlife surveys and habitat mapping of the project area on February 24-28 and March 9-13, 2020, following guidance for general methodologies as provided in the Florida Wildlife Conservation Guide¹ (2011) with a focus on those listed species known or believed to occur in Jefferson County within habitats similar to those found on the project area. Prior to initiating field surveys, ECT conducted a desktop analysis to review relevant regulatory databases for documented listed species occurrences and suitable habitats within the vicinity of the project area and consultation areas that need to be considered for certain species (i.e., bald eagle nests, wood stork colonies and core foraging areas, red-cockaded woodpecker observations, etc.). ECT then conducted field surveys to evaluate the project area for listed species occurrences or for evidence of their presence (e.g. burrows, nests, scat, tracks, territorial markings, etc.) and recorded locations on an aerial map of the project area. As part of this initial survey, ECT reviewed the suitability of upland habitats to support gopher tortoises (*Gopherus polyphemus*) and recorded any observed potentially occupied burrows.

Results from this survey are summarized in Section 3.0. Formal species-specific surveys were not conducted but may be required in support of permitting or prior to development (i.e., pre-construction gopher tortoise survey). Therefore, results from this survey are not intended to meet any agency permitting requirements.

¹ Developed by FWC, USFWS, and Florida Natural Areas Inventory.

3.0 GENERAL LISTED SPECIES SURVEY RESULTS

ECT conducted a preliminary gopher tortoise burrow survey that covered approximately 15 percent of the potentially suitable upland habitats in the project area with pedestrian transects while searching for other listed species in the process. ECT observed one potentially occupied gopher tortoise burrow along the northern right-of-way of Aucilla Road, but no other listed species were observed. Table 3-1 below summarizes other listed species that have potential to occur onsite based on availability and suitability of habitats. The table also references the federal and state designations for listing of each species and the likelihood of occurrence onsite based on ECT's findings. Following Table 3-1 is a discussion on the species that have potential to occur onsite. Recommendations or permitting considerations related to key listed species are provided in Section 4.0.

Table 3-1. Listed Species Observed or Having Potential to Occur on the Drifton Solar Project Site.

Common Name	Scientific Name	Legal Status		Probability of Occurrence
		USFWS ¹	FWC ²	
Reptiles				
American Alligator	<i>Alligator mississippiensis</i>	T (S/A)	FT(S/A)	Moderate
Eastern Indigo Snake	<i>Drymarchon couperi</i>	T	FT	Low
Gopher Tortoise	<i>Gopherus polyphemus</i>	C	T	Observed
Barbour's Map Turtle	<i>Graptemys barbourin</i>	-----	T	Very Low
Florida Pine Snake	<i>Pituophis melanoleucus mugitus</i>	-----	T	Very Low
Amphibians				
Frosted Flatwoods Salamander	<i>Ambystoma cingulatum</i>	T	FT	Low
Birds				
Florida Sandhill Crane	<i>Antigone canadensis pratensis</i>	-----	T	Moderate
Little Blue Heron	<i>Egretta caerulea</i>	-----	T	Moderate
Tricolored Heron	<i>Egretta tricolor</i>	-----	T	Moderate
Bald Eagle	<i>Haliaeetus leucocephalus</i>	----- ³	-----	Low
Wood Stork	<i>Mycteria americana</i>	T	FT	Moderate
Red-cockaded woodpecker	<i>Picoides borealis</i>	E	FE	Very Low
Roseate Spoonbill	<i>Platalea ajaja</i>	-----	T	Low
Federally Listed Plants				
Miccosukee gooseberry	<i>Ribes echinellum</i>	E	FE	Low

¹ USFWS – U.S. Fish and Wildlife Service; Endangered and Threatened Wildlife (50 eCFR 17.11). Ranking: E - Endangered, T – Threatened, T(S/A) – Threatened by Similarity of Appearance, C – Candidate.

² FWC – Florida Fish and Wildlife Conservation Commission; Rules Relating to Endangered and Threatened Species (Ch. 68A-27.003 F.A.C.; updated February 2020). Ranking: FE – Federally designated Endangered, FT – Federally designated Threatened, FT(S/A) – Federally designated Threatened because of similarity of appearance, T –Threatened.

³ The bald eagle was removed from the federal list of threatened and endangered species but remains protected under the federal Bald and Golden Eagle Protection Act (BGEPA).

3.1 LISTED SPECIES DISCUSSION

American Alligator (*Alligator mississippiensis*)

The American alligator is federally listed as threatened because of its similarity in appearance to the federally protected American crocodile (*Crocodylus acutus*) and is also protected by FWC. Alligators inhabit nearly any freshwater and brackish water habitat when water levels are suitable including marshes, rivers, lakes, and man-made features including ditches, canals, and ponds. No alligators were observed during the survey, but alligators may periodically be found in the wetlands and streams onsite. There are no permitting constraints associated with the American alligator.

Eastern Indigo Snake (*Drymarchon corais couperi*)

The eastern indigo snake is federally listed as threatened and can be found in a wide range of native habitats including pine flatwoods, scrubby flatwoods, high pine, dry prairie, and tropical hardwood hammocks. The species is commonly associated with areas occupied by the gopher tortoises, because they are a commensal species that occupy the same burrows during the winter months. In areas lacking tortoise burrows, decayed stumps and logs are important habitat features used for cover. ECT did not observe any indigo snakes or signs of species occurrence. Refugia sites (gopher tortoise burrows) are limited. Historic occurrences are known from western Jefferson County, but there are no recent records near the project area. For these reasons, indigo snakes are unlikely to utilize this site but, if present, they are most likely to occur in the forested habitats. Implementation of minimization measures may be required as discussed further in Section 4.0 below.

Gopher Tortoise (*Gopherus polyphemus*)

The gopher tortoise is state listed as threatened and is a candidate for federal listing. Tortoises prefer well-drained, sandy soils typical of sandhill, xeric scrub, palmetto prairie, and pine flatwoods habitats, but can also be found in marginal habitats including roadsides, berms, pastures, and other agricultural lands. ECT only observed one potentially occupied gopher tortoise burrow and one abandoned burrow onsite (Figure 2) as a result of a 15% survey. Due to intensive agricultural operations and high ground water table throughout

much of the project area, it is not anticipated that there is large population of gopher tortoises onsite. However, FWC will require a formal survey prior to development to document any potentially occupied burrows within the development footprint. Should any gopher tortoise burrows be found, a permit will be required from FWC to relocate tortoises prior to development. More details regarding the constraints and permitting considerations related to gopher tortoises are provided in Section 4.0 below.

Florida Pine Snake (*Pituophis melanoleucus mugitus*)

The Florida pine snake is state listed as threatened and inhabits areas of well-drained soils with a moderate to open canopy, which are most commonly associated with sandhills in Florida. The species is often found in association with southeastern pocket gopher mounds. It is a nonvenomous snake with dark brown to reddish blotches on a gray to sandy-colored background. Pine snakes are adapted for burrowing and spend more than 75 percent of their time underground, which makes visual surveying for pine snakes largely ineffective. However, there are no historic or recent records of the species occurring in Jefferson County near the project area and the project area does not contain suitable or preferred habitat for this species. Presence by the pine snake onsite is unlikely and the species will not be affected by project development.

Barbour's Map Turtle (*Graptemys barbourin*)

Barbour's map turtles are state listed as threatened and inhabits rapid flowing waterways, from moderately broad alluvial rivers to clear spring-fed streams. This species is known to occur in the Aucilla River and the headwaters of the Wacissa River in Jefferson County; however, they avoid blackwater tributaries. As this project area does not contain suitable habitat and is outside the known occurrence area for this species, its presence onsite is unlikely, and is not anticipated to be affected by project development.

Frosted Flatwoods salamander (*Ambystoma cingulatum*)

The frosted flatwoods salamander is federally designated as a threatened species. The frosted flatwood salamander is endemic to the lower Gulf and Atlantic coastal plains and are usually found in slash and longleaf pine-wiregrass flatwoods and savannas. They breed

mainly in small ephemeral ponds and herbaceous wetlands and do not migrate to uplands until they are mature. Adults mainly feed on earth worms and larvae feed mainly on small crustaceans. Although wetland areas were identified on site, most of were mixed wetland hardwood habitats that will not provide suitable habitat for breeding. Critical habitat is designated for the species in Florida (Baker County) but is not intersected by the project. Remaining populations are known from the St. Marks National Wildlife Refuge and the Apalachicola National Forest, but numbers are in decline. As no preferred or suitable habitat is present and the project area occurs outside the species documented range, the frosted flatwoods salamander is not anticipated to be affected by project development.

Florida Sandhill Crane (*Antigone canadensis pratensis*)

Florida sandhill cranes are state listed as threatened and typically nest in shallow, freshwater marshes between the months of February and April, depending on hydrologic conditions. They utilize open, grassy areas including pastures and other agricultural lands for foraging. ECT did not observe any sandhill cranes during the survey which occurred during peak breeding season when young typically are seen foraging with the adults. Sandhill cranes prefer to nest in freshwater marshes with an average water depth of 5-13 inches and nearly all of the wetlands onsite are overgrown and do not provide suitable or preferred nesting habitat. Some suitable foraging habitat exists onsite and cranes may use the site periodically for foraging purposes; however, this species is not expected to result in any development constraints or permitting implications unless flightless young are observed foraging on the site.

Bald Eagle (*Haliaeetus leucocephalus*)

While no longer listed by the USFWS or FWC as a threatened or endangered species, the bald eagle is afforded protected under the federal Bald and Golden Eagle Protection Act (BGEPA). According to the FWC Eagle Nest Locator database, the closest known nest (JE 002) is located over 10 miles northwest of the project site (Figure 3), which is located well outside the 660-foot protection zone recommended by USFWS in the *National Bald Eagle Management Guidelines* (May 2007). Bald eagles nest in large pine trees from October – May and suitable nesting habitat occurs onsite; however, no bald eagles or evidence of bald

eagle nests was observed during the survey which took place during times associated with peak breeding activity. Foraging opportunities are limited on and around the project area and there is a low probability that bald eagles will establish a new nest onsite and bald eagles are not expected to be affected by project development

Red-Cockaded Woodpecker (RCW) (*Picoides borealis*)

The red-cockaded woodpecker is federally listed as Endangered and the project area is located over two miles outside of the designated consultation area for this species (Figure 3). RCWs typically inhabit self-made cavities in old-growth pine (slash, longleaf, loblolly) forests in open stands with little or hardwood mid-story and few or no overstory hardwoods. The nearest occurrence of RCWs is approximately 16 miles to the northwest of the site. No RCWs nor suitable nesting trees were observed onsite; therefore, RCWs will not be affected by project development.

Wood Stork (*Mycteria americana*)

The wood stork is state and federally listed as threatened. No wood storks were observed on the project area, but they could use the onsite wetlands for foraging. Nesting occurs during the winter and early spring in colonies located in woody vegetation over standing water or on islands surrounded by relatively broad expanses of open water. Wood storks normally feed in relatively calm waters between 2 and 15 inches deep that are uncluttered by aquatic vegetation. In north Florida, the USFWS designates a 13-mile Core Foraging Area (CFA) buffer around nesting colonies. According to the USFWS database, the closest known wood stork colony, Little Aucilla Spray colony, is located approximately 13.75 miles east of the eastern property boundary (Figure 3); therefore, the project site is not within a designated CFA. The wood stork is not expected to be adversely affected by development and consultation with the USFWS for the wood stork would not be required for this project.

State Listed Wading Birds (Little Blue Heron, Tricolored Heron, and Roseate Spoonbill)

ECT evaluated the project site for state listed wading birds including the little blue heron (*Egretta caerulea*), tricolored heron (*Egretta tricolor*), and roseate spoonbill (*Platalea*

ajaja). While none of these species were directly observed, state listed wading birds may utilize the onsite wetlands and low-lying upland areas for foraging and loafing. According to the FWC Wading Bird Rookeries database (1999) there are no colonies known to occur near the project site. Most wading birds tend to nest in small trees or shrubs in freshwater or estuarine wetlands and use the same site each year if conditions remain appropriate. A pre-construction survey during the nesting season (between the months of March and August) can rule out nesting concerns prior to development. Although unlikely for this project site, if a colonial breeding site (with listed species) becomes established on or near the project site, a 330-foot buffer would apply around the roosting site and development would have to comply with the recommendations set forth in the FWC *Threatened Wading Bird Guidelines* to avoid disturbance during the nesting season.

Miccosukee Gooseberry (*Ribes echinellum*)

The Miccosukee gooseberry is the only federally listed as endangered plant species found in Jefferson County. This species is only documented along the shorelines of Lake Miccosukee and prefers sandy soils with light to moderate shade along lakes. As no preferred or suitable habitat is present and the project area occurs outside the species documented range, the Miccosukee gooseberry is not anticipated to be affected by project development.

4.0 PERMITTING CONSIDERATIONS

Development will be required to adhere to state and federal guidelines mandated by the FWC and USFWS to avoid or minimize impacts to listed species. The following is a summary of permitting and/or agency consultation ECT reasonably expects that will need to be addressed for certain listed species based on our findings outlined in Section 3.0. It should be noted that although some species were not directly observed, there is still potential for some species to occur onsite which may require consideration for additional survey work, permitting, or agency consultation.

Based on our preliminary surveys, ECT anticipates a formal pre-construction survey will be required for gopher tortoises in accordance with FWC's *Gopher Tortoise Permitting Guidelines* (Revised January 2017). This survey will need to be conducted within 90 days of commencing construction or land clearing activities. If a gopher tortoise burrow is observed a permit will be required from FWC to relocate tortoises to an FWC-approved recipient site. If there are less than 10 potentially occupied gopher tortoise burrows within the development footprint then a FWC 10 or Fewer permit would need to be obtained. If more than 10 of the potentially occupied burrows onsite were proposed to be impacted, a conservation permit for off-site relocation will need to be obtained from the FWC. Conservation permits issued for gopher tortoises relocated to a long-term protected recipient site will require a \$217 mitigation contribution for the first group of ten burrows (up to five tortoises) and a \$319 mitigation contribution per tortoise thereafter. The recipient site requires an approximate \$1,400 (contingent on the permitted bank and market conditions) per adult tortoise captured and approximately 50% of the potentially occupied burrows will contain a gopher tortoise. As long-term gopher tortoise recipient sites have been frequently filling to capacity, the actual recipient site will need to be identified following the 100% survey. Any commensal species incidentally captured during gopher tortoise relocations should be treated in accordance with FWC's Interim Policy on the Relocation of Priority Commensals. No additional mitigation fees are required for relocation of commensal species.

It is unlikely that formal consultation with USFWS will be required to address any federally listed species, but federally listed species will need to be addressed if USACE permitting is required. Specifically, given the project area contains no xeric habitat and has low potential for gopher tortoises, Eastern indigo snakes are also unlikely to occur onsite. However, if a permit from the USACE is required, they will follow the guidelines outlined in the *North Florida Eastern Indigo Snake Programmatic Effect Determination Key*² to determine whether formal Section 7 Consultation is required with USFWS. Based on the Key³, if the project results in more than 25 acres of impact to xeric habitat (scrub, sandhills, or scrubby flatwoods) or impacts more than 25 gopher tortoise burrows, Section 7 consultation is typically required with USFWS. Since the site has no xeric habitat, consultation will be contingent on whether or not more than 25 gopher tortoise burrows are observed during pre-construction surveys covering 100% of potentially suitable habitat. If USFWS consultation will be required for indigo snakes, development permits will be conditioned to adhere to the *Standard Protection Measures for the Eastern Indigo Snake* (August 2013) which is used to educate construction personnel and minimize impacts to the species prior to and during development (Appendix A).

² Update Addendum to the USFWS Concurrence Letter to the USACE Regarding Use of the Attached Eastern Indigo Snake Programmatic Effect Determination Key (USFWS; August 13, 2013)

FIGURES

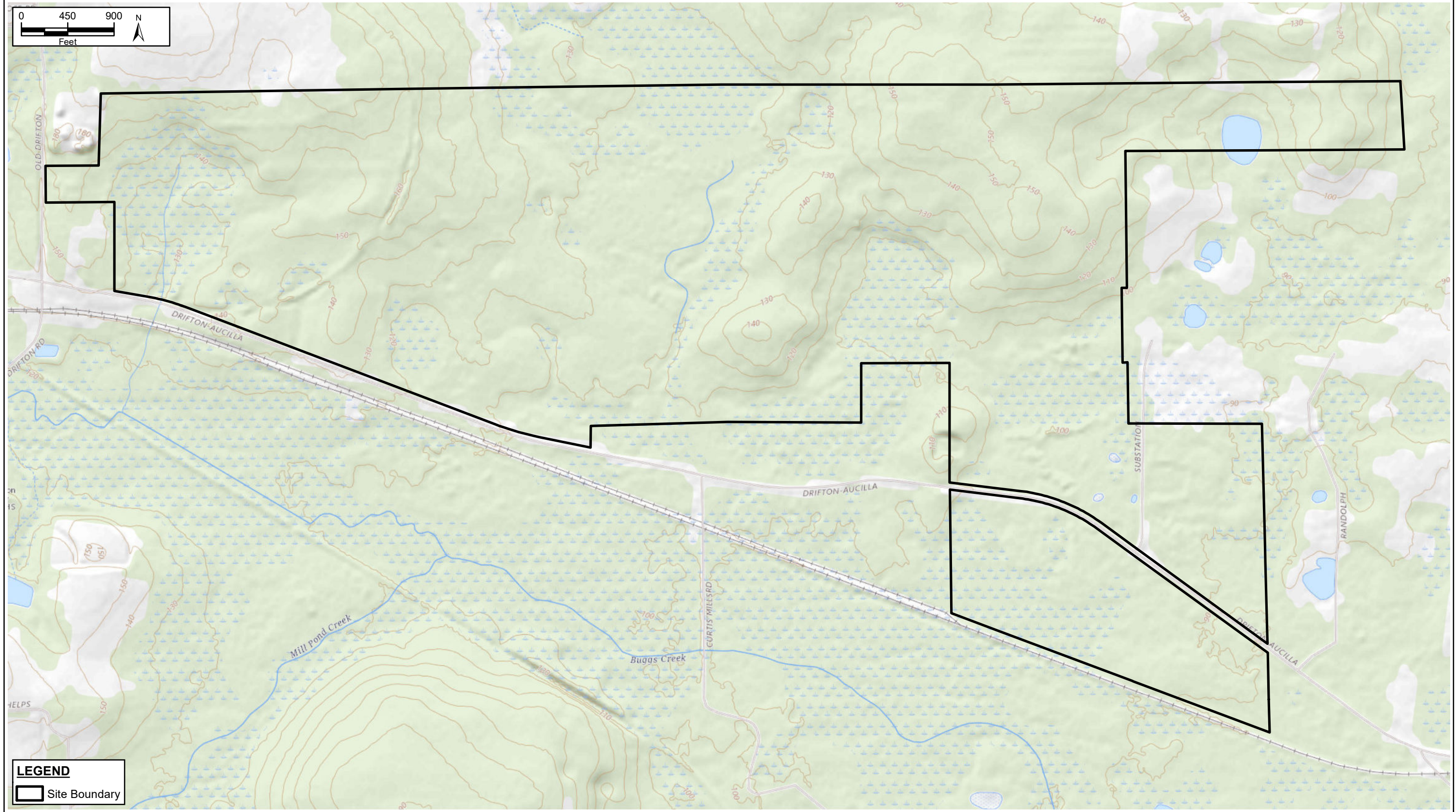


FIGURE 1.
LOCATION MAP
DRIFTON SOALR
JEFFERSON COUNTY, FLORIDA

Sources: USFWS, 2019; FDOT, 2019; ECT, 2020.



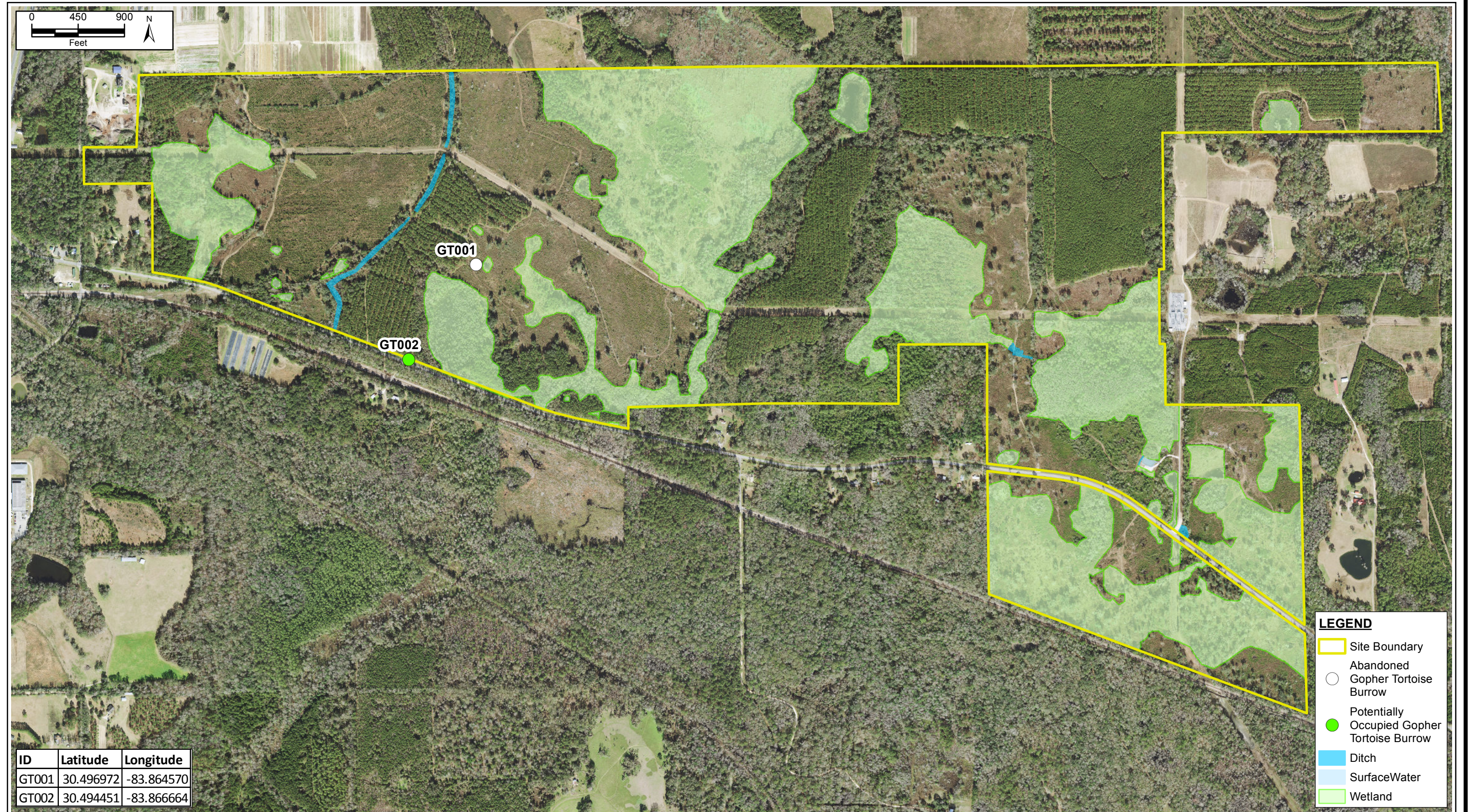


FIGURE 2.
GOPHER TORTOISE BURROW MAP
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: SRWMD, 2019; FDOT, 2019; ECT, 2020.

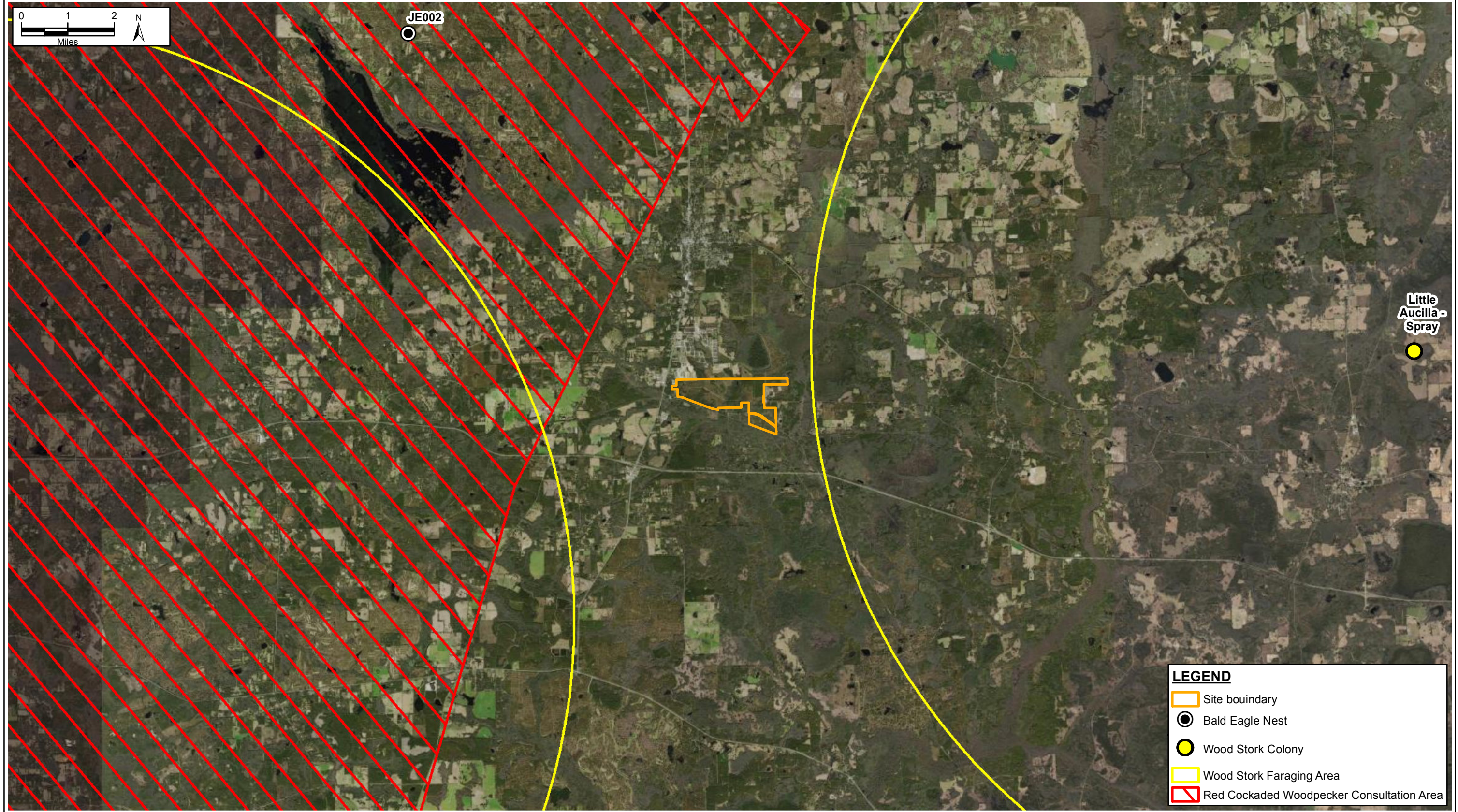


FIGURE 3.
LISTED SPECIES MAP
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: Sarasota County, 2018; USFWS, 2017; FWC, 2017; FDOT, 2017; ECT, 2020.

ATTACHMENT A.
STANDARD PROTECTION MEASURES FOR THE
EASTERN INDIGO SNAKE

STANDARD PROTECTION MEASURES FOR THE EASTERN INDIGO SNAKE
U.S. Fish and Wildlife Service
August 12, 2013

The eastern indigo snake protection/education plan (Plan) below has been developed by the U.S. Fish and Wildlife Service (USFWS) in Florida for use by applicants and their construction personnel. At least **30 days prior** to any clearing/land alteration activities, the applicant shall notify the appropriate USFWS Field Office via e-mail that the Plan will be implemented as described below (North Florida Field Office: jaxregs@fws.gov; South Florida Field Office: verobeach@fws.gov; Panama City Field Office: panamacity@fws.gov). As long as the signatory of the e-mail certifies compliance with the below Plan (including use of the attached poster and brochure), no further written confirmation or “approval” from the USFWS is needed and the applicant may move forward with the project.

If the applicant decides to use an eastern indigo snake protection/education plan other than the approved Plan below, written confirmation or “approval” from the USFWS that the plan is adequate must be obtained. At least 30 days prior to any clearing/land alteration activities, the applicant shall submit their unique plan for review and approval. The USFWS will respond via e-mail, typically within 30 days of receiving the plan, either concurring that the plan is adequate or requesting additional information. A concurrence e-mail from the appropriate USFWS Field Office will fulfill approval requirements.

The Plan materials should consist of: 1) a combination of posters and pamphlets (see **Poster Information** section below); and 2) verbal educational instructions to construction personnel by supervisory or management personnel before any clearing/land alteration activities are initiated (see **Pre-Construction Activities** and **During Construction Activities** sections below).

POSTER INFORMATION

Posters with the following information shall be placed at strategic locations on the construction site and along any proposed access roads (a final poster for Plan compliance, to be printed on 11” x 17” or larger paper and laminated, is attached):

DESCRIPTION: The eastern indigo snake is one of the largest non-venomous snakes in North America, with individuals often reaching up to 8 feet in length. They derive their name from the glossy, blue-black color of their scales above and uniformly slate blue below. Frequently, they have orange to coral reddish coloration in the throat area, yet some specimens have been reported to only have cream coloration on the throat. These snakes are not typically aggressive and will attempt to crawl away when disturbed. Though indigo snakes rarely bite, they should NOT be handled.

SIMILAR SNAKES: The black racer is the only other solid black snake resembling the eastern indigo snake. However, black racers have a white or cream chin, thinner bodies, and WILL BITE if handled.

LIFE HISTORY: The eastern indigo snake occurs in a wide variety of terrestrial habitat types throughout Florida. Although they have a preference for uplands, they also utilize some wetlands

and agricultural areas. Eastern indigo snakes will often seek shelter inside gopher tortoise burrows and other below- and above-ground refugia, such as other animal burrows, stumps, roots, and debris piles. Females may lay from 4 - 12 white eggs as early as April through June, with young hatching in late July through October.

PROTECTION UNDER FEDERAL AND STATE LAW: The eastern indigo snake is classified as a Threatened species by both the USFWS and the Florida Fish and Wildlife Conservation Commission. “Taking” of eastern indigo snakes is prohibited by the Endangered Species Act without a permit. “Take” is defined by the USFWS as an attempt to kill, harm, harass, pursue, hunt, shoot, wound, trap, capture, collect, or engage in any such conduct. Penalties include a maximum fine of \$25,000 for civil violations and up to \$50,000 and/or imprisonment for criminal offenses, if convicted.

Only individuals currently authorized through an issued Incidental Take Statement in association with a USFWS Biological Opinion, or by a Section 10(a)(1)(A) permit issued by the USFWS, to handle an eastern indigo snake are allowed to do so.

IF YOU SEE A LIVE EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and allow the live eastern indigo snake sufficient time to move away from the site without interference;
- Personnel must NOT attempt to touch or handle snake due to protected status.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Immediately notify supervisor or the applicant’s designated agent, **and** the appropriate USFWS office, with the location information and condition of the snake.
- If the snake is located in a vicinity where continuation of the clearing or construction activities will cause harm to the snake, the activities must halt until such time that a representative of the USFWS returns the call (within one day) with further guidance as to when activities may resume.

IF YOU SEE A DEAD EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and immediately notify supervisor or the applicant’s designated agent, **and** the appropriate USFWS office, with the location information and condition of the snake.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Thoroughly soak the dead snake in water and then freeze the specimen. The appropriate wildlife agency will retrieve the dead snake.

Telephone numbers of USFWS Florida Field Offices to be contacted if a live or dead eastern indigo snake is encountered:

North Florida Field Office – (904) 731-3336

Panama City Field Office – (850) 769-0552

South Florida Field Office – (772) 562-3909

PRE-CONSTRUCTION ACTIVITIES

1. The applicant or designated agent will post educational posters in the construction office and throughout the construction site, including any access roads. The posters must be clearly visible to all construction staff. A sample poster is attached.
2. Prior to the onset of construction activities, the applicant/designated agent will conduct a meeting with all construction staff (annually for multi-year projects) to discuss identification of the snake, its protected status, what to do if a snake is observed within the project area, and applicable penalties that may be imposed if state and/or federal regulations are violated. An educational brochure including color photographs of the snake will be given to each staff member in attendance and additional copies will be provided to the construction superintendent to make available in the onsite construction office (a final brochure for Plan compliance, to be printed double-sided on 8.5" x 11" paper and then properly folded, is attached). Photos of eastern indigo snakes may be accessed on USFWS and/or FWC websites.
3. Construction staff will be informed that in the event that an eastern indigo snake (live or dead) is observed on the project site during construction activities, all such activities are to cease until the established procedures are implemented according to the Plan, which includes notification of the appropriate USFWS Field Office. The contact information for the USFWS is provided on the referenced posters and brochures.

DURING CONSTRUCTION ACTIVITIES

1. During initial site clearing activities, an onsite observer may be utilized to determine whether habitat conditions suggest a reasonable probability of an eastern indigo snake sighting (example: discovery of snake sheds, tracks, lots of refugia and cavities present in the area of clearing activities, and presence of gopher tortoises and burrows).
2. If an eastern indigo snake is discovered during gopher tortoise relocation activities (i.e. burrow excavation), the USFWS shall be contacted within one business day to obtain further guidance which may result in further project consultation.
3. Periodically during construction activities, the applicant's designated agent should visit the project area to observe the condition of the posters and Plan materials, and replace them as needed. Construction personnel should be reminded of the instructions (above) as to what is expected if any eastern indigo snakes are seen.

POST CONSTRUCTION ACTIVITIES

Whether or not eastern indigo snakes are observed during construction activities, a monitoring report should be submitted to the appropriate USFWS Field Office within 60 days of project completion. The report can be sent electronically to the appropriate USFWS e-mail address listed on page one of this Plan.



Kirkland Appraisals, LLC

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December 7, 2020

Ms. Héloïse Hedlund
Ecoplexus, Inc.
600 Park Offices Drive, Suite 285
Durham, NC 27709

RE: Drifton Solar Impact Study, Drifton, Jefferson County, FL

Ms. Hedlund

At your request, I have considered the impact of a solar farm proposed to be constructed on approximately 314.70 acres out of a parent tract assemblage of 884.89 acres on Aucillia Highway, Drifton, Jefferson County, Florida. Specifically, I have been asked to give my professional opinion on whether the proposed solar farm will have any impact on adjoining property value.

To form an opinion on these issues, I have researched and visited existing and proposed solar farms in Florida as well as other states, researched articles through the Appraisal Institute and other studies, and discussed the likely impact with other real estate professionals. I have not been asked to assign any value to any specific property.

This letter is a limited report of a real property appraisal consulting assignment and subject to the limiting conditions attached to this letter. My client is Ecoplexus, Inc. represented to me by J Héloïse Hedlund. The effective date of this consultation is December 7, 2020.

While based in NC, I am also a Florida State Certified General Appraiser #RZ3950.

Conclusion

The matched pair analysis shows no impact in home values due to abutting or adjoining a solar farm as well as no impact to abutting or adjacent vacant residential or agricultural land with buffers and distances similar to what is proposed at the subject property.

Very similar solar farms in very similar areas have been found by hundreds of towns and counties not to have a substantial injury to abutting or adjoining properties, and many of those findings of no impact have been upheld by appellate courts. Similar solar farms have been approved adjoining agricultural uses, schools, churches, and residential developments.

Based on the data and analysis in this report, it is my professional opinion that the solar farm proposed at the subject property will have no impact on the value of adjoining or abutting property. I note that some of the positive implications of a solar farm that have been expressed by people living next to solar farms include protection from future development of residential developments or other more intrusive uses, reduced dust, odor and chemicals from former farming operations, protection from light pollution at night, it's quiet, and there is no traffic.

I note that larger solar farms using fixed or tracking panels are a passive use of the land that is in keeping with a rural/residential area. Solar farms are comparable to larger greenhouses. This is not surprising given that a greenhouse is essentially another method for collecting passive solar energy. The greenhouse use is well received in residential/rural areas and has a similar visual impact as a solar farm.

If you have any further questions please call me any time.

Sincerely,



Richard C. Kirkland, Jr., MAI
Florida State Certified General Appraiser #RZ3950

Standards and Methodology

I conducted this analysis using the standards and practices established by the the Appraisal Institute and that conform to the Uniform Standards of Professional Appraisal Practice. The analyses and methodologies contained in this report are accepted by all major lending institutions, and they are used in Florida and across the country as the industry standard by certified appraisers conducting appraisals, market analyses, or impact studies and are considered adequate to form an opinion of the impact of a land use on neighboring properties. These standards and practices have also been accepted by the courts at the trial and appellate levels and by federal courts throughout the country as adequate to reach conclusions about the likely impact a use will have on adjoining or abutting properties.

The aforementioned standards compare property uses in the same market and generally within the same calendar year so that fluctuating markets do not alter study results. Although these standards do not require a linear study that examines adjoining property values before and after a new use (e.g. a solar farm) is developed, some of these studies do in fact employ this type of analysis. Comparative studies, as used in this report, are considered an industry standard.

Determining what is an External Obsolescence

An external obsolescence is a use of property that, because of its characteristics, might have a negative impact on the value of adjacent or nearby properties because of identifiable impacts. Determining whether a use would be considered an external obsolescence requires a study that isolates that use, eliminates any other causing factors, and then studies the sales of nearby versus distant comparable properties. The presence of one or a combination of key factors does not mean the use will be an external obsolescence, but a combination of these factors tend to be present when market data reflects that a use is an external obsolescence.

External obsolescence is evaluated by appraisers based on several factors. These factors include but are not limited to:

- 1) Traffic. Solar Farms are not traffic generators.
- 2) Odor. Solar farms do not produce odor.
- 3) Noise. Solar farms generate no noise concerns and are silent at night.
- 4) Environmental. Solar farms do not produce toxic or hazardous waste. NCDEQ does not consider the panels to be impervious surfaces that impede groundwater absorption or cause runoff.
- 5) Other factors. I have observed and studied many solar farms and have never observed any characteristic about such facilities that prevents or impedes neighbor from fully using their homes or farms or businesses for the use intended.

Proposed Use Description

The proposed solar farm is proposed to be constructed on approximately 314.70 acres out of a parent tract assemblage of 884.89 acres on Aucillia Highway, Drifton, Jefferson County, Florida. Adjoining land is primarily a mix of residential and agricultural uses.

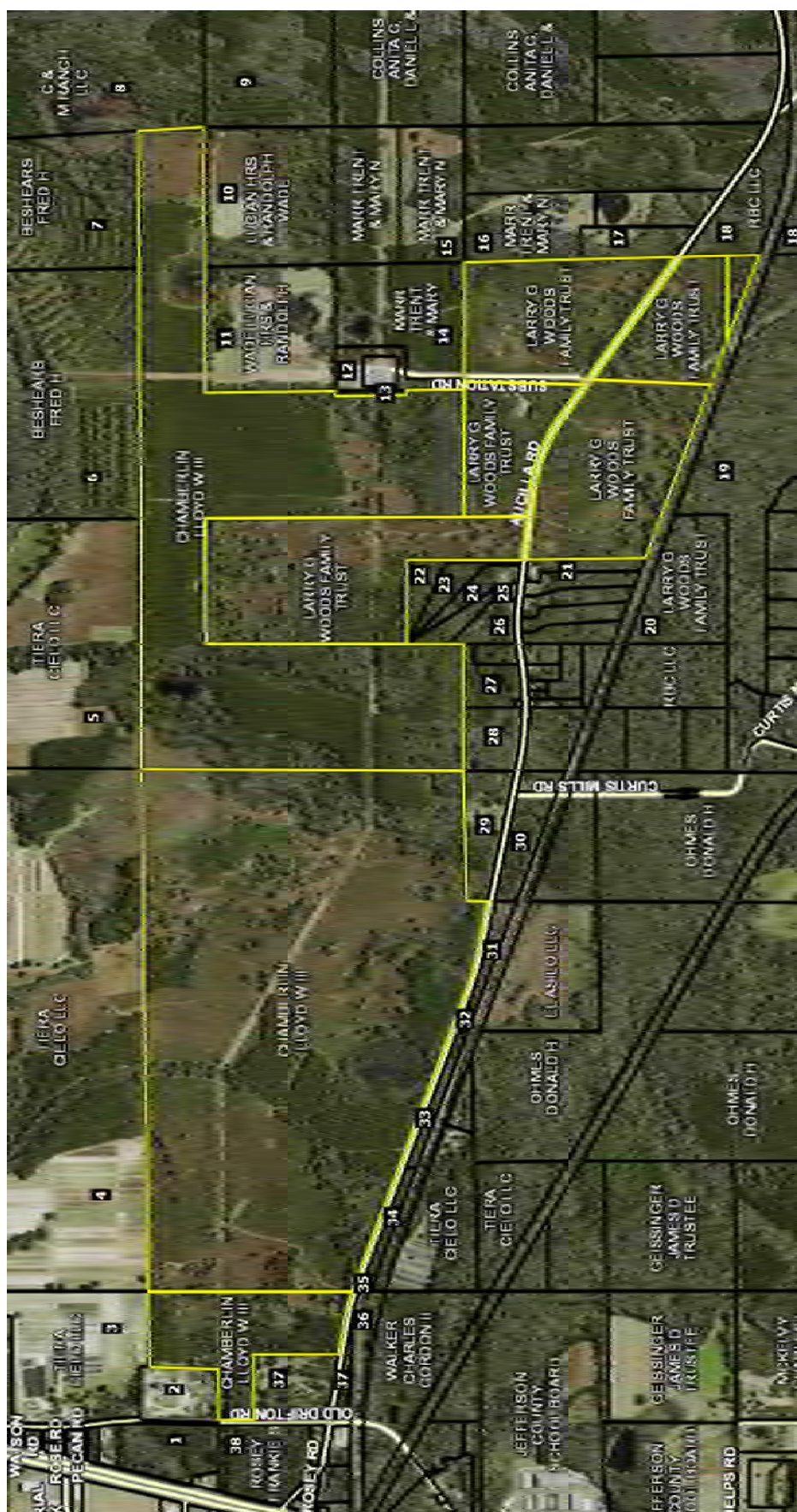
Adjoining Properties

I have considered adjoining uses and included a map to identify each parcel's location. The closest home will be at least 395 feet away and the average distance to adjoining homes is 1,703 feet. Matched pairs that I have researched show no impact for distances as close as 105 feet.

The breakdown of those uses by acreage and number of parcels is summarized below.

Adjoining Use Breakdown

	Acreage	Parcels
Residential	6.25%	44.74%
Agricultural	89.64%	39.47%
Agri/Res	2.47%	5.26%
Commercial	0.62%	2.63%
Substation	0.46%	5.26%
Railroad	0.56%	2.63%
Total	100.00%	100.00%



Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin	Adjoin	Distance (ft)
			Acres	Present Use	Acres	Parcels	Home/Panel
1	5891	Rosey	11.18	Residential	0.69%	2.63%	N/A
2	5884	Wheeler	10.00	Commercial	0.62%	2.63%	N/A
3	5885	Tiera	45.42	Agricultural	2.81%	2.63%	N/A
4	9378	Tiera	232.75	Agricultural	14.38%	2.63%	N/A
5	9386	Tiera	117.41	Agricultural	7.25%	2.63%	N/A
6	9389	Beshears	120.00	Agricultural	7.41%	2.63%	N/A
7	20545	Beshears	60.00	Agricultural	3.71%	2.63%	N/A
8	9396	C&M LLC	80.00	Agricultural	4.94%	2.63%	N/A
9	9395	C&M LLC	280.00	Agricultural	17.30%	2.63%	N/A
10	9398	Lucian	40.00	Agricultural	2.47%	2.63%	N/A
11	9391	Wade	40.00	Agricultural	2.47%	2.63%	N/A
12	9393	Duke	6.60	Substation	0.41%	2.63%	N/A
13	9388	Duke	0.83	Substation	0.05%	2.63%	N/A
14	9392	Marr	28.48	Agricultural	1.76%	2.63%	N/A
15	9400	Marr	20.00	Agri/Res	1.24%	2.63%	2260
16	9539	Marr	20.00	Agri/Res	1.24%	2.63%	3220
17	9543	Marr	8.00	Residential	0.49%	2.63%	N/A
18	9544	RBC LLC	133.12	Agricultural	8.22%	2.63%	N/A
19	9587	RBC LLC	160.84	Agricultural	9.94%	2.63%	N/A
20	9554	Larry	59.86	Agricultural	3.70%	2.63%	N/A
21	9563	Green	4.41	Residential	0.27%	2.63%	1890
22	9555	Cunningham	4.33	Residential	0.27%	2.63%	N/A
23	9556	Cunningham	4.33	Residential	0.27%	2.63%	N/A
24	9557	Cunningham	4.33	Residential	0.27%	2.63%	1670
25	9558	Perry	4.33	Residential	0.27%	2.63%	N/A
26	9559	Jenkins	4.33	Residential	0.27%	2.63%	1385
27	9567	Unknown	6.29	Residential	0.39%	2.63%	N/A
28	9597	Nickinson	25.00	Agricultural	1.54%	2.63%	N/A
29	9606	Howard	11.13	Residential	0.69%	2.63%	395
30	9605	Young	7.90	Residential	0.49%	2.63%	N/A
31	9608	El LLC	28.00	Agricultural	1.73%	2.63%	N/A
32	9380	El LLC	1.00	Residential	0.06%	2.63%	N/A
33	9384	Chamberlin	3.58	Residential	0.22%	2.63%	N/A
34	9379	Desantis	3.00	Residential	0.19%	2.63%	N/A
35	9385	Chamberlin	0.06	Residential	0.00%	2.63%	N/A
36	2288	Florida LLC	9.14	Railroad	0.56%	2.63%	N/A
37	2883	Arceneaux	14.00	Residential	0.86%	2.63%	1100
38	5892	Rosey	8.88	Residential	0.55%	2.63%	N/A
Total			1618.528		100.00%	100.00%	1,703

I. Summary of Solar Projects in Florida

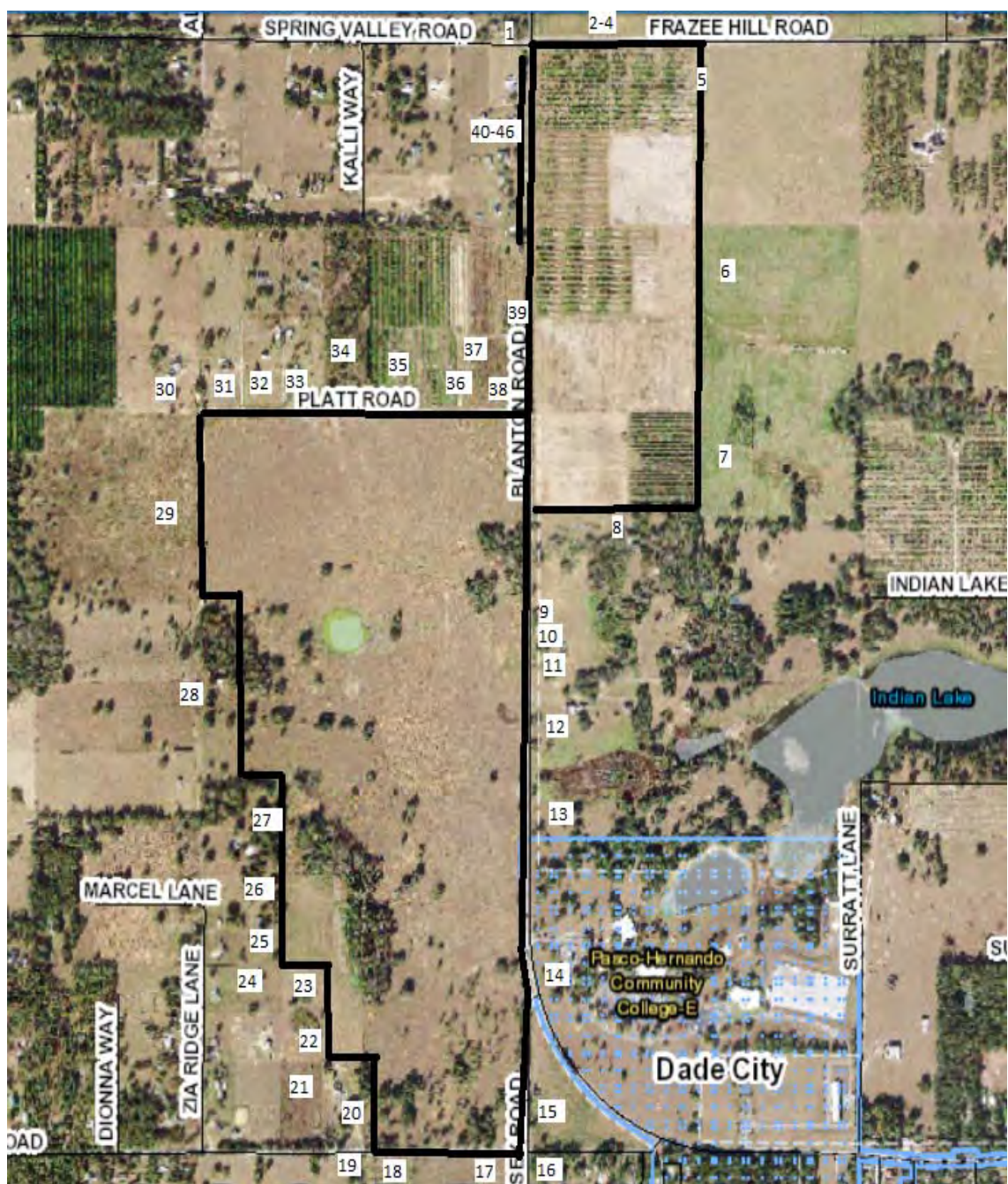
I have researched the solar projects in Florida. I identified the solar farms through the Solar Energy Industries Association (SEIA) Major Projects List and then excluded the roof mounted facilities. For this analysis I specifically looked at similar sized projects in Northern Florida as well as other sites that I have previously considered.

I have provided a summary of projects below and additional detailed information on the projects on the following pages. I specifically note the similarity in most of the sites in Florida as compared to most of the states that I have searched before in terms of mix of adjoining uses, topography, and distances to adjoining homes.

A summary of the solar farm description is presented below and followed by a brief description, map and breakdown of adjoining uses for each of these solar farms considered.

State	County	City	Name	Output (MW)	Total	Used	Avg. Dist	Closest	Adjoining Use by Acre				
					Acres	Acres	to home	Home	Res	Agri	Agri/Res	Com	
FL	Pasco	Dade City	Mountain View	55	347.12		510	175	32%	39%	21%	8%	
FL	Hamilton	Jasper	Hamilton	74.9	1268.9	537	3,596	240	5%	67%	28%	0%	
FL	Suwannee	Falmouth	Suwannee		165.5	83.95			14%	69%	17%	0%	
FL	Osceola	St Cloud	Osceola	3.8	25.1				0%	100%	0%	0%	
FL	Taylor	Perry	Perry	5.1	55.63		380	67	56%	42%	0%	2%	
FL	Duval	Jacksonville	Jacksonville	15	441.67		1,840	915	2%	83%	0%	14%	
FL	Polk	Lakeland	LKL BLBD LLC	6	68.64				42%	0%	54%	4%	
FL	Polk	Lakeland	Lakeland	3.5	143.03		814	150	42%	11%	29%	19%	
FL	Manatee	Parrish	Manatee	74.5	1180.4		1,079	625	2%	50%	1%	47%	
FL	DeSoto	Arcadia	Citrus	74.5	640				0%	0%	100%	0%	
FL	Charlotte	Port Charlotte	Babcock	74.5	422.61				0%	0%	100%	0%	
FL	Polk	Mulberry	Alafia	51	420.35		490	105	7%	90%	3%	0%	
FL	Volusia	Debary	Debary	74.5	844.63		654	190	3%	27%	0%	70%	
FL	Alachua & Putnam	Hawthorne	Horizon	74.5	684	684	1,808	460	5%	80%	15%	0%	
FL	Volusia	New Smyrna Beach	Pioneer Trail	74.5	1202.8	900	1,162	225	14%	61%	21%	4%	
FL	Columbia	Lake City	Sunshine Gateway	74.5	904.29	472	1,233	890	11%	80%	8%	0%	
FL	Putnam	Florahome	Coral Farms	74.5	666.54	580	1,614	765	19%	75%	7%	0%	
Total Number of Solar Farms				17									
				Average	50.64	557.7	542.8	1265	401	15%	51%	24%	10%
				Median	74.50	441.7	558.5	1121	233	7%	61%	15%	0%
				High	74.90	1268.9	900.0	3596	915	56%	100%	100%	70%
				Low	3.50	25.1	84.0	380	67	0%	0%	0%	0%

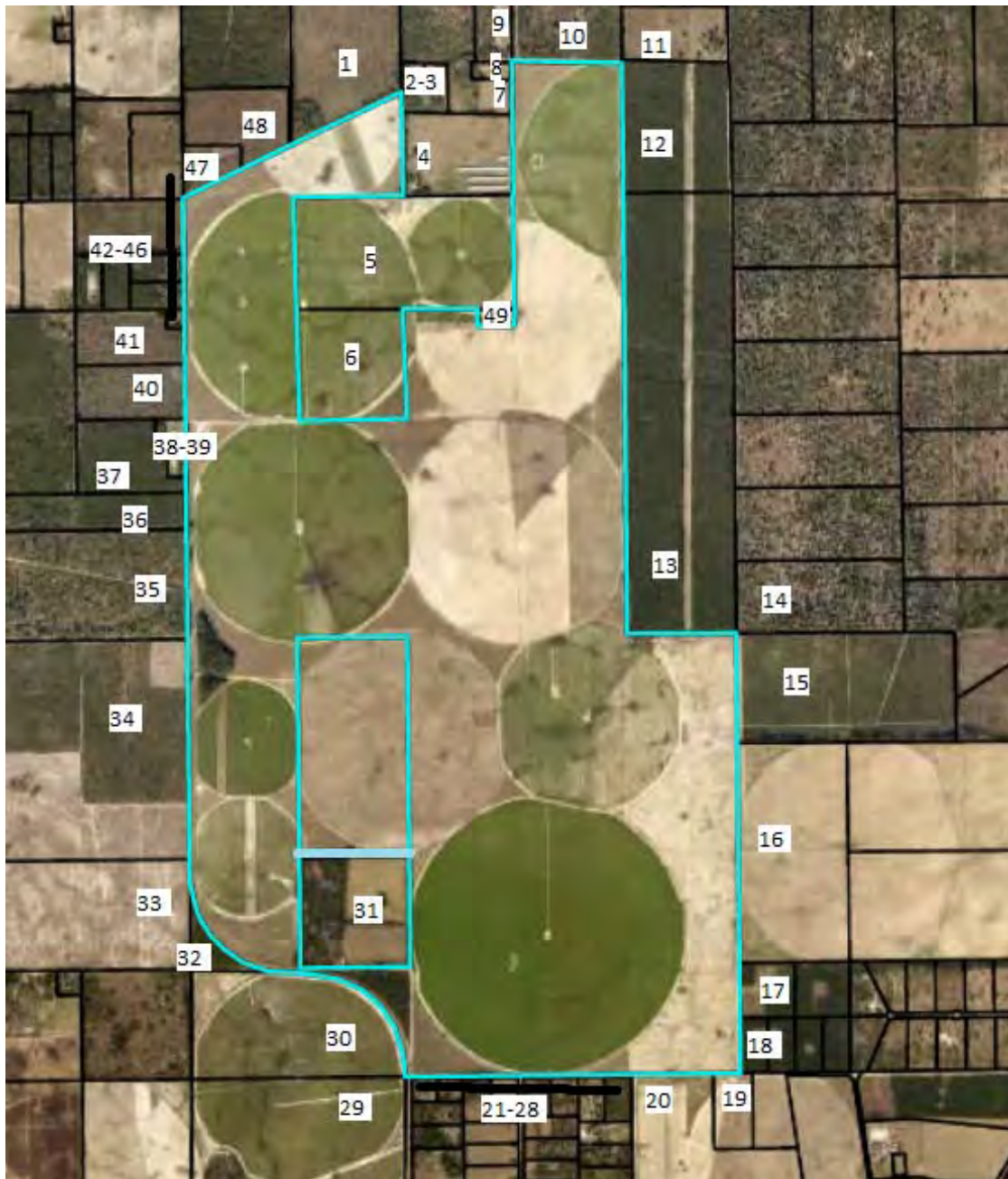
1. Mountain View, Dade City, Pasco County



This project is located on 347.12 acres for a 55 MW facility. The closest home is 175 feet away and the average distance is 510 feet. This project has been approved but not yet built.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin	Adjoin	Distance (ft)
			Acres	Present Use	Acres	Parcels	Home/Panel
1	00300-0014	Meyer	6.50	Residential	0.99%	2.17%	435
2	01500-0000	Edwards	14.07	Agricultural	2.15%	2.17%	N/A
3	01500-001A	Michael	3.04	Residential	0.46%	2.17%	N/A
4	01500-002A	Michael	3.04	Residential	0.46%	2.17%	N/A
5	01700-0010	Dairy Co	2.07	Residential	0.32%	2.17%	N/A
6	02100-0000	Dairy Co	40.00	Agricultural	6.12%	2.17%	N/A
7	01100-0000	Dairy Co	49.75	Agricultural	7.61%	2.17%	N/A
8	01200-0000	Weaver	34.41	Agri/Res	5.26%	2.17%	385
9	01500-0000	Weaver	1.75	Residential	0.27%	2.17%	N/A
10	01600-0020	Clark	1.25	Residential	0.19%	2.17%	400
11	01600-0010	McCort	1.25	Residential	0.19%	2.17%	N/A
12	01600-0000	Perez	6.50	Residential	0.99%	2.17%	595
13	01700-0000	Vast LLC	49.05	Agricultural	7.50%	2.17%	N/A
14	01800-0010	Pasco Co Coll.	96.00	School	14.68%	2.17%	770
15	01800-0030	Simpson	9.63	Residential	1.47%	2.17%	N/A
16	02800-0050	Vanbremen	1.18	Residential	0.18%	2.17%	1650
17	00100-0000	James	19.10	Agri/Res	2.92%	2.17%	1920
18	00200-0000	Jordan	10.00	Agricultural	1.53%	2.17%	N/A
19	00500-0000	Joe Inc	36.98	Agricultural	5.65%	2.17%	N/A
20	00800-006B	Philips	5.00	Residential	0.76%	2.17%	335
21	00800-0050	Rigdon	5.00	Residential	0.76%	2.17%	N/A
22	00800-0081	Jones	2.52	Residential	0.39%	2.17%	N/A
23	00800-0090	Jones	2.52	Residential	0.39%	2.17%	N/A
24	00800-0000	Caselnova	4.98	Residential	0.76%	2.17%	575
25	00800-0020	Nealey	5.03	Residential	0.77%	2.17%	510
26	00800-0022	Scarborough	5.03	Residential	0.77%	2.17%	175
27	00800-0021	Noble	10.04	Residential	1.54%	2.17%	395
28	00300-0010	Comer	63.03	Agri/Res	9.64%	2.17%	570
29	00400-0000	Platt LLC	77.00	Agricultural	11.77%	2.17%	N/A
30	00800-0020	Ellsworth	19.45	Agri/Res	2.97%	2.17%	460
31	00800-0030	Hanson	5.03	Residential	0.77%	2.17%	365
32	00800-0034	Skerkowski	5.03	Residential	0.77%	2.17%	455
33	00800-0010	Smith	4.91	Residential	0.75%	2.17%	285
34	00800-0040	Vanburen	4.92	Residential	0.75%	2.17%	N/A
35	01000-0000	Floyd LLC	20.00	Agricultural	3.06%	2.17%	N/A
36	00A00-0000	Floyd LLC	2.94	Residential	0.45%	2.17%	N/A
37	49900-0000	Pasco Co	1.98	Residential	0.30%	2.17%	N/A
38	00C00-0010	Floyd LLC	9.84	Agricultural	1.50%	2.17%	N/A
39	00D00-0120	Stalnaker	1.11	Residential	0.17%	2.17%	370
40	00C00-0330	Coston	0.59	Residential	0.09%	2.17%	N/A
41	00C00-0321	Deleo	0.45	Residential	0.07%	2.17%	195
42	00C00-0111	Bohannon	1.76	Residential	0.27%	2.17%	360
43	00C00-0140	Meinhardt	1.83	Residential	0.28%	2.17%	305
44	00C00-0170	Blommel	2.71	Residential	0.41%	2.17%	265
45	00400-0090	Unknown	2.86	Residential	0.44%	2.17%	215
46	00400-0080	Unknown	2.91	Residential	0.44%	2.17%	240
Total			654.040		100.00%	100.00%	510

2. Hamilton Solar, Jasper, Hamilton County



This project is located on 537 acres out of a 1,268.89-acre parent tract for a 74.9 MW facility. The closest adjoining home is 240 feet away and all of the adjoining uses are agricultural and residential. The project is proposed was built in 2018.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin		Distance (ft)
			Acres	Present Use	Acres	Parcels	
1	3599-492	Curry	60.20	Agricultural	3.01%	2.04%	N/A
2	4731-021	Beck	2.00	Residential	0.10%	2.04%	6,860
3	4731-020	Hurst	5.71	Residential	0.29%	2.04%	6,565
4	4731-030	Cruz Corp	30.00	Agri/Res	1.50%	2.04%	5,485
5	4736-010	Partridge	80.00	Agricultural	4.00%	2.04%	N/A
6	4737-000	Partridge	40.00	Agricultural	2.00%	2.04%	N/A
7	4731-000	Hurst	30.00	Agricultural	1.50%	2.04%	N/A
8	4731-010	Hurst	2.29	Residential	0.11%	2.04%	6,880
9	4731-040	Nabors	10.00	Residential	0.50%	2.04%	N/A
10	3599-498	Three Inc	40.13	Agricultural	2.01%	2.04%	N/A
11	4731-077	Cantrell	20.75	Agri/Res	1.04%	2.04%	7,200
12	4734-005	Carroll	46.50	Agricultural	2.32%	2.04%	N/A
13	4735-015	Carroll	160.00	Agricultural	7.99%	2.04%	N/A
14	3599-454	Momplaisir	40.01	Agricultural	2.00%	2.04%	N/A
15	4736-020	Reid	80.00	Agricultural	4.00%	2.04%	N/A
16	4760-020	Deas Inc	80.00	Agricultural	4.00%	2.04%	N/A
17	4760-130	Smith	10.08	Residential	0.50%	2.04%	1,285
18	4760-126	McClung	5.04	Residential	0.25%	2.04%	N/A
19	5065-023	Partridge	10.03	Agricultural	0.50%	2.04%	N/A
20	5065-010	Partridge	146.71	Agricultural	7.33%	2.04%	N/A
21	5068-270	Abner	4.00	Residential	0.20%	2.04%	N/A
22	5068-260	Roskey	4.00	Residential	0.20%	2.04%	240
23	5068-250	Robinson	3.58	Residential	0.18%	2.04%	N/A
24	5068-240	Tyre	3.58	Residential	0.18%	2.04%	N/A
25	5067-200	Roach	2.02	Residential	0.10%	2.04%	N/A
26	5067-190	Tharp	4.04	Residential	0.20%	2.04%	N/A
27	5067-181	Cadava	2.00	Residential	0.10%	2.04%	250
28	5067-180	Wilkes	2.00	Residential	0.10%	2.04%	265
29	5069-010	Lakeland	158.50	Agri/Res	7.92%	2.04%	2,410
30	4758-010	Lakeland	68.50	Agricultural	3.42%	2.04%	N/A
31	4759-000	Clark	40.00	Agri/Res	2.00%	2.04%	625
32	4758-000	Partridge	6.42	Residential	0.32%	2.04%	N/A
33	4756-050	Allen	79.00	Agricultural	3.95%	2.04%	N/A
34	4756-020	Allen	238.00	Agricultural	11.89%	2.04%	N/A
35	4744-000	Madison Inc	316.09	Agri/Res	15.79%	2.04%	4,690
36	4743-000	Culpepper	27.85	Agricultural	1.39%	2.04%	N/A
37	4739-015	Combass	22.07	Agricultural	1.10%	2.04%	N/A
38	4739-030	Vinson	2.00	Residential	0.10%	2.04%	2,070
39	4739-020	Sizemore	2.61	Residential	0.13%	2.04%	2,500
40	4739-011	Culpepper	20.00	Agricultural	1.00%	2.04%	N/A
41	4739-010	Newsome	18.78	Agricultural	0.94%	2.04%	N/A
42	4740-000	Cone	1.22	Residential	0.06%	2.04%	3,800
43	4738-000	Wheeler	5.00	Residential	0.25%	2.04%	4,110
44	4738-005	Johnson	5.00	Residential	0.25%	2.04%	N/A
45	4738-002	Kelly	20.00	Agricultural	1.00%	2.04%	N/A
46	4725-035	Poling	15.14	Agricultural	0.76%	2.04%	N/A
47	4730-045	Rickerson	7.64	Residential	0.38%	2.04%	5,900
48	4730-035	Wiggins	20.95	Agricultural	1.05%	2.04%	N/A
49	4736-000	Partridge	1.97	Residential	0.10%	2.04%	N/A
Total			2001.410		100.00%	100.00%	3,596

3. Suwannee Solar Farm, Falmouth, Suwannee County



Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin	
			Acres	Present Us	Acres	Adjoin Parcels
1	24-01S-11E-1089701.0150	Bennett	0.79	Residential	0.24%	5.88%
2	24-01S-11E-1089701.0080	Wilson	6.24	Agricultural	1.88%	5.88%
3	24-01S-11E-1089701.0070	Defranc	1.66	Residential	0.50%	5.88%
4	24-01S-11E-1089701.0060	Tallman	1.61	Residential	0.48%	5.88%
5	24-01S-11E-1089701.0050	Carreno	1.52	Residential	0.46%	5.88%
6	24-01S-11E-1089701.0040	Suwannee	1.32	Residential	0.40%	5.88%
7	24-01S-11E-1089701.0030	Suwannee	0.97	Residential	0.29%	5.88%
8	24-01S-11E-1089701.0020	Suwannee	0.73	Residential	0.22%	5.88%
9	24-01S-11E-1089701.0010	Suwannee	0.52	Residential	0.16%	5.88%
10	25-01S-11E-1090100.0000	TIITF	2.50	Residential	0.75%	5.88%
11	30-01S-12E-0974100.0000	Florida	16.00	Residential	4.81%	5.88%
12	30-01S-12E-0974600.1000	White Inc	49.90	Agricultural	14.99%	5.88%
13	25-01S-11E-1090200.0000	Gold	142.20	Agricultural	42.73%	5.88%
14	25-01S-11E-1091800.0000	Martin	57.63	Agri/Res	17.32%	5.88%
15	25-01S-11E-1091600.0000	Duke Energy	16.81	Residential	5.05%	5.88%
16	25-01S-11E-1090700.0000	Florida	31.31	Agricultural	9.41%	5.88%
17	24-01S-11E-1089701.0160	Ammons	1.08	Residential	0.32%	5.88%
Total			332.790		100.00%	100.00%

This project is located on 83.95 acres out of a parent tract of 165.50 acres located on River Road, Falmouth, Florida. The adjoining uses are entirely agricultural and residential. This was built in 2017.

4. Osceola Solar Farm, St. Cloud, Osceola County**Surrounding Uses**

#	MAP ID	Owner	GIS Data		Adjoin Acres	Adjoin Parcels
			Acres	Present Use		
1	08-28-31-0000-0080-0000	Whaley	109.40	Agricultural	19.25%	25.00%
2	08-28-31-0000-0010-0000	Jewell	161.60	Agricultural	28.43%	25.00%
3	17-28-31-0000-0020-0000	Bear LTD	286.24	Agricultural	50.37%	25.00%
4	08-28-31-0000-0090-0000	Whaley	11.09	Agricultural	1.95%	25.00%
Total			568.330		100.00%	100.00%

This project is located on 25.10 acres on Bar 7 Ranch Road south of St. Cloud, Florida. The adjoining uses are entirely agricultural.

5. Perry Solar Farm, Perry, Taylor County



This project is located on 55.63 acres on Howard Street, Perry, Florida. The adjoining uses are agricultural, residential, a cemetery, and a school. Of note there are two homes within 100 feet of the solar panels at this site which is more easily seen on the second map on the next page.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin		Distance (ft)
			Acres	Present Use	Acres	Adjoin Parcels	
1	07448-900	School Board	14.04	Residential	14.89%	5.88%	N/A
2	07558-000	Cousins	0.93	Residential	0.99%	5.88%	75
3	07557-000	Cousins	0.33	Residential	0.35%	5.88%	N/A
4	07556-500	Taylor Cnty	0.98	Residential	1.04%	5.88%	N/A
5	07558-001	Cousins	1.33	Residential	1.41%	5.88%	67
6	07561-000	Cousins	0.66	Residential	0.70%	5.88%	N/A
7	07554-100	Norman	0.5	Residential	0.53%	5.88%	280
8	07554-200	Murphy	1.75	Residential	1.86%	5.88%	315
9	07554-000	Reams	1.75	Residential	1.86%	5.88%	360
10	07553-500	Reams	2.00	Residential	2.12%	5.88%	N/A
11	07521-000	Snow	9.00	Residential	9.55%	5.88%	655
12	07542-000	Snow	2.00	Residential	2.12%	5.88%	N/A
13	07537-000	Moon	15.00	Residential	15.91%	5.88%	910
14	07534-100	Pallbearers	1.03	Residential	1.09%	5.88%	N/A
15	07535-000	St Peters	2.00	Cemetery	2.12%	5.88%	N/A
16	07534-000	Perry Citizens	1.64	Residential	1.74%	5.88%	N/A
17	07551-000	Giddens	39.33	Agricultural	41.72%	5.88%	N/A
Total			94.270		100.00%	100.00%	380



6. Jacksonville Solar Farm, Jacksonville, Duval County

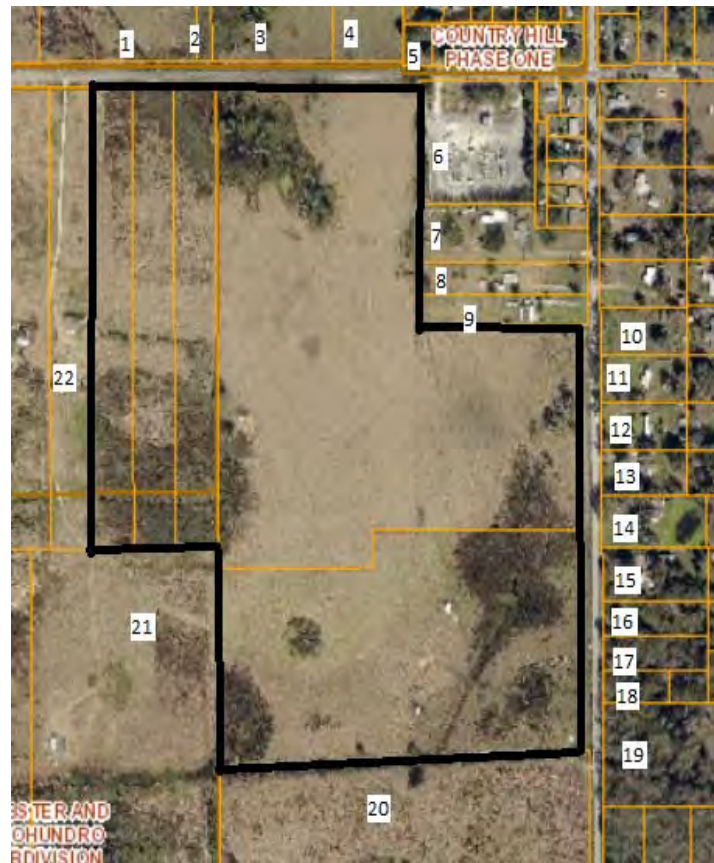


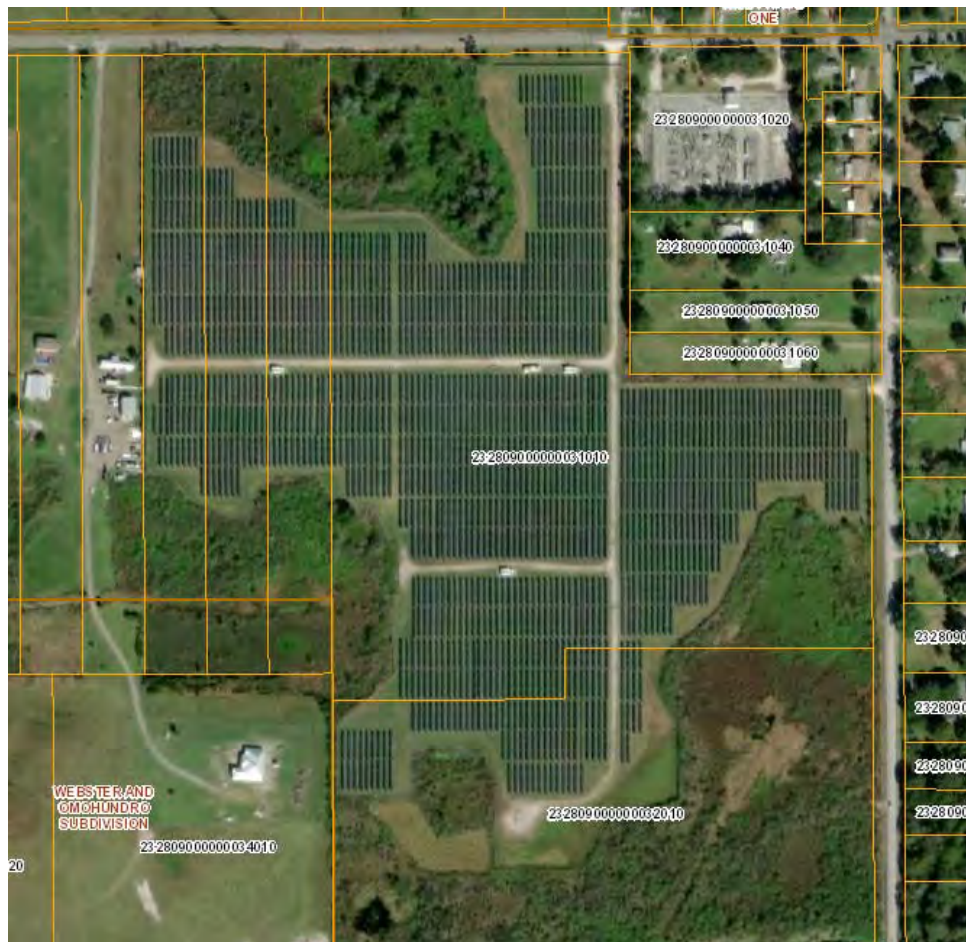
Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin Acres	Adjoin Parcels	Distance (ft) Home/Panel
			Acres	Present Use			
1	000015 0000	Hampton	0.96	Residential	0.03%	4.55%	3270
2	000009 0000	Braum	60.66	Agricultural	1.98%	4.55%	N/A
3	001380 0000	Jacksonville	647.84	Agricultural	21.14%	4.55%	N/A
4	001646 0000	Bostwick	81.01	Agricultural	2.64%	4.55%	N/A
5	001645 0000	Jacksonville	443.66	Substation	14.48%	4.55%	N/A
6	001649 0100	Jacksonville	13.05	Residential	0.43%	4.55%	N/A
7	000019 0030	Jacksonville	16.51	Residential	0.54%	4.55%	N/A
8	000019 0031	Florida Pow.	0.21	Residential	0.01%	4.55%	N/A
9	000480 0030	Jacksonville	6.78	Residential	0.22%	4.55%	N/A
10	000480 0010	Jacksonville	4.06	Residential	0.13%	4.55%	N/A
11	000476 0100	Jacksonville	83.20	Agricultural	2.72%	4.55%	N/A
12	000477 0000	Bostwick	30.37	Agricultural	0.99%	4.55%	N/A
13	000477 0150	Bostwick	31.31	Agricultural	1.02%	4.55%	N/A
14	000478 0800	Baldwin	3.69	Residential	0.12%	4.55%	N/A
15	000478 0600	Townsend	4.74	Residential	0.15%	4.55%	N/A
16	000478 0500	Townsend	5.01	Residential	0.16%	4.55%	N/A
17	000090 0400	B&H LLC	1.27	Residential	0.04%	4.55%	1335
18	000025 0000	Brantley	3.53	Residential	0.12%	4.55%	915
19	000020 0100	Jacksonville	3.99	Residential	0.13%	4.55%	N/A
20	000021 0010	TIITF	29.89	Agricultural	0.98%	4.55%	N/A
21	000021 0020	TIITF	70.91	Agricultural	2.31%	4.55%	N/A
22	000002 0000	Bryceville	1521.35	Agricultural	49.65%	4.55%	N/A
Total			3064.000		100.00%	100.00%	1,840

This project is located on 441.67 acres on US 301 N, Jacksonville, Florida. The adjoining uses are agricultural, residential and a substation.

7. **LKL BLBD Solar Farm, Lakeland, Polk County**



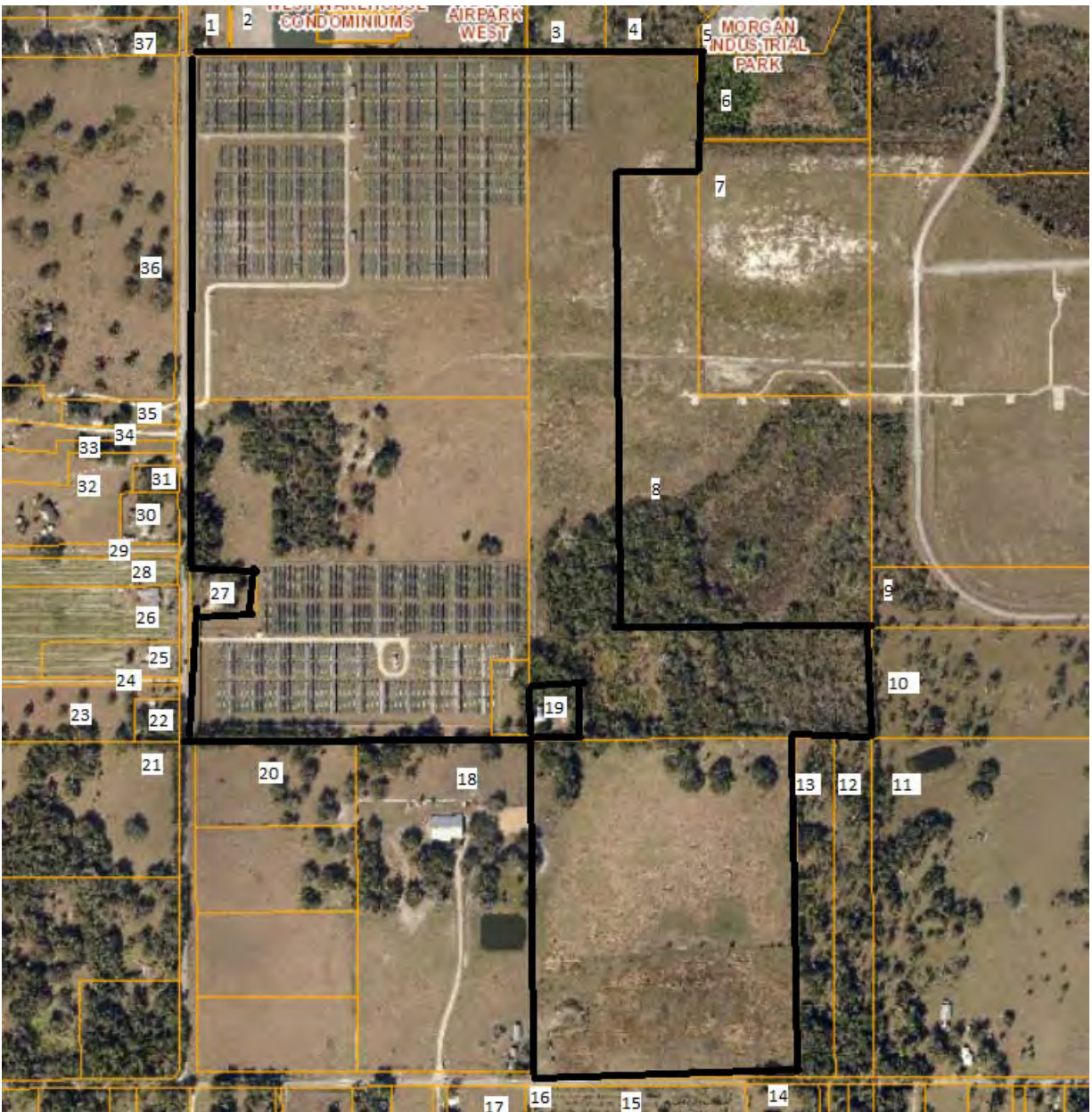


This project is located on a 68.64-acre tract on Bella Vista Street, Lakeland, Florida. Adjoining uses are residential, agricultural and a substation. The closest home to panel that I measured at this location is 70 feet.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin	Adjoin
			Acres	Present Use	Acres	Parcels
1	40	Miller	6.36	Residential	6.75%	4.55%
2	30	Miller	18.49	Agricultural	19.63%	4.55%
3	20	Miller	5.52	Residential	5.86%	4.55%
4	10	Miller	3.19	Residential	3.39%	4.55%
5	10	Norris	0.31	Residential	0.33%	4.55%
6	31020	Lakeland	3.76	Substation	3.99%	4.55%
7	31040	Land Trst 1720	2.26	Residential	2.40%	4.55%
8	31050	Doh	1.38	Residential	1.46%	4.55%
9	31060	Oh	1.38	Residential	1.46%	4.55%
10	13240	Williams	1.06	Residential	1.13%	4.55%
11	13250	Yim	1.05	Residential	1.11%	4.55%
12	13140	Adams	1.06	Residential	1.13%	4.55%
13	13030	Walker	1.04	Residential	1.10%	4.55%
14	14100	Parker	1.41	Residential	1.50%	4.55%
15	14070	Maldonado	1.43	Residential	1.52%	4.55%
16	14160	Hudson	0.95	Residential	1.01%	4.55%
17	14180	Worthen	0.94	Residential	1.00%	4.55%
18	14050	Howard	0.58	Residential	0.62%	4.55%
19	14060	Thomson	4.65	Residential	4.94%	4.55%
20	32020	Bridges	14.66	Agricultural	15.56%	4.55%
21	34010	Green	17.73	Agricultural	18.82%	4.55%
22	33060	Green	5.00	Residential	5.31%	4.55%
Total			94.210		100.00%	100.00%

8. Polk Electric Solar Farm, Lakeland, Polk County



This solar farm is located on a 143.03 acre tract on Hamilton Road, Lakeland, Florida. An airport is located to the east, an industrial park is to the north east and most of the rest of the land is residential and agricultural. This write up shows the boundary of Lakeland 1, 2 and 3, three separate solar farms for a combined output around 11 MW.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin	Adjoin	Distance (ft)
			Acres	Present Use	Acres	Parcels	Home/Panel
1	13160	Dawson	0.81	Residential	0.28%	2.70%	N/A
2	90	Ruthven	7.15	Residential	2.49%	2.70%	N/A
3	140	Norman Inc	4.98	Residential	1.74%	2.70%	N/A
4	90	Gulfstream	3.74	Industrial	1.30%	2.70%	N/A
5	60	Gulfstream	1.98	Industrial	0.69%	2.70%	N/A
6	130	Norman Inc	6.03	Residential	2.10%	2.70%	N/A
7	12010	Lakeland	15.12	Airport	5.27%	2.70%	N/A
8	12020	Lakeland	26.15	Airport	9.11%	2.70%	N/A
9	43030	Lakeland	7.13	Airport	2.48%	2.70%	N/A
10	43010	Howard	13.12	Residential	4.57%	2.70%	N/A
11	44010	Howard	39.68	Agri/Res	13.83%	2.70%	2635
12	22020	Howard	4.48	Residential	1.56%	2.70%	N/A
13	22030	Morgan	4.45	Residential	1.55%	2.70%	N/A
14	11030	Silcox	1.64	Residential	0.57%	2.70%	1880
15	11010	Morgan	12.29	Agricultural	4.28%	2.70%	N/A
16	13020	Marin	1.28	Residential	0.45%	2.70%	N/A
17	13010	Thompson	15.94	Agricultural	5.55%	2.70%	N/A
18	24010	ASM LLC	19.81	Residential	6.90%	2.70%	N/A
19	21010	Dial	1.00	Residential	0.35%	2.70%	150
20	24020	Bell	4.75	Residential	1.66%	2.70%	N/A
21	42040	Hamilton	9.97	Residential	3.47%	2.70%	N/A
22	41090	Veteto	0.65	Residential	0.23%	2.70%	190
23	41020	Hamilton	5.77	Residential	2.01%	2.70%	N/A
24	41060	Mitchell	0.55	Residential	0.19%	2.70%	N/A
25	41010	Houston	1.65	Residential	0.58%	2.70%	220
26	41040	Mitchell	4.83	Agri/Res	1.68%	2.70%	410
27	23020	Lakeland	1.00	Residential	0.35%	2.70%	N/A
28	41070	Mitchell	2.01	Agricultural	0.70%	2.70%	N/A
29	41120	Dawson	9.95	Residential	3.47%	2.70%	1220
30	41100	Willis	1.04	Residential	0.36%	2.70%	480
31	41050	Roach	0.43	Residential	0.15%	2.70%	490
32	41110	Randolph	5.06	Residential	1.76%	2.70%	825
33	41130	Mittan	5.09	Residential	1.77%	2.70%	1350
34	32020	Dawson	5.54	Residential	1.93%	2.70%	890
35	41080	Roach	1.03	Residential	0.36%	2.70%	640
36	32010	Phillips	38.27	Agri/Res	13.34%	2.70%	625
37	31050	Roach	2.58	Residential	0.90%	2.70%	200
Total			286.950		100.00%	100.00%	814

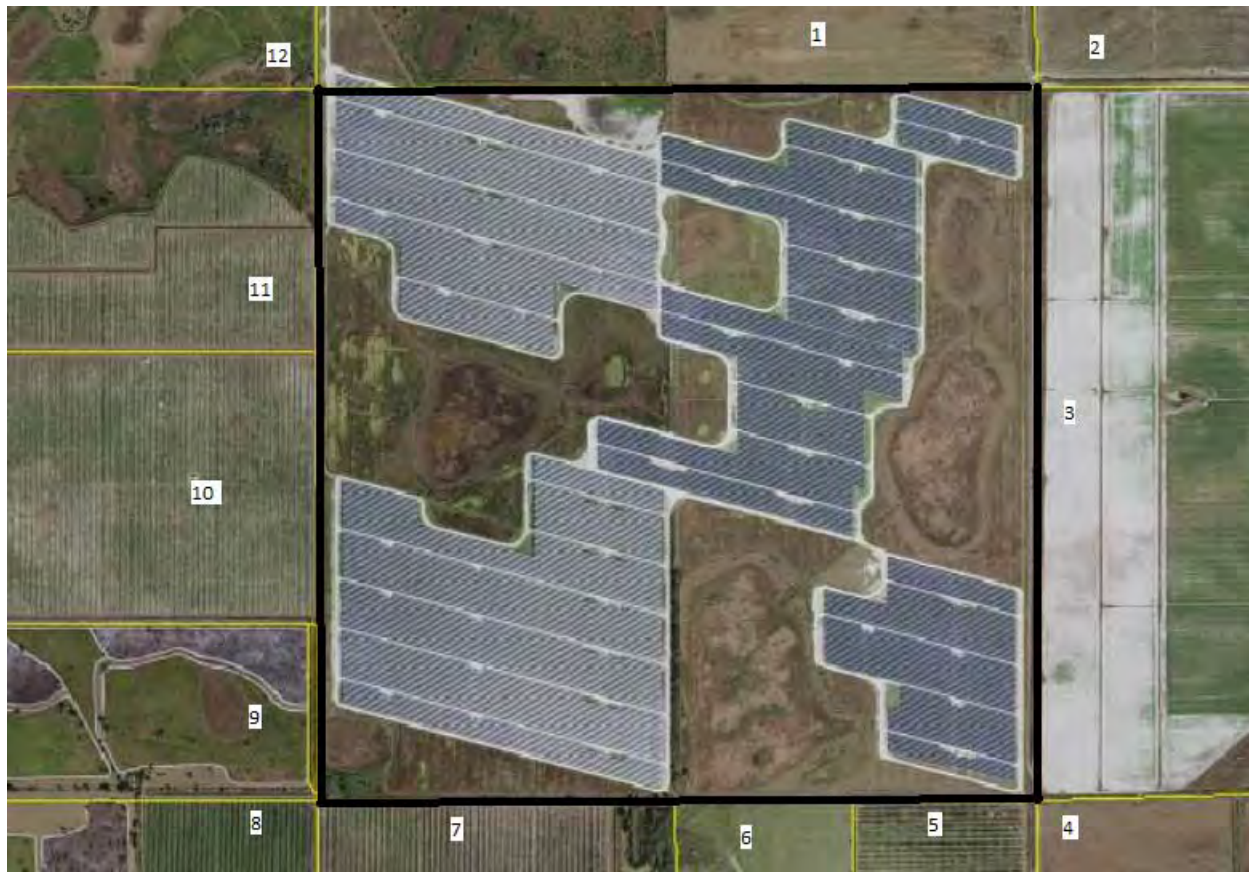
9. Manatee Solar Farm, Parrish, Manatee County



This project is located on a 1,280.38-acre tract located near Seminole Trail, Parrish, Florida. Adjoining uses are primarily agricultural and residential.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin	Adjoin	Distance (ft)
			Acres	Present Us	Acres	Parcels	Home/Panel
1	390010009	Hecht LTD	992.00	Agricultural	25.05%	2.94%	N/A
2	344703053	Spates	12.47	Agricultural	0.31%	2.94%	N/A
3	354000002	Bennett	5.00	Residential	0.13%	2.94%	1695
4	353900004	Bass	5.50	Residential	0.14%	2.94%	1350
5	353800006	Chartak	5.00	Residential	0.13%	2.94%	1310
6	353700008	Bembry	5.00	Residential	0.13%	2.94%	N/A
7	352800007	Vasquez	5.00	Residential	0.13%	2.94%	840
8	352300008	McGriff	5.40	Residential	0.14%	2.94%	625
9	351900006	Teates	5.40	Residential	0.14%	2.94%	1195
10	351400007	Jones	5.00	Residential	0.13%	2.94%	1045
11	344708003	Longboat	5.00	Residential	0.13%	2.94%	845
12	351100003	Kettering	5.00	Residential	0.13%	2.94%	625
13	350600003	Langford	5.00	Residential	0.13%	2.94%	655
14	350200002	Zamora	5.00	Residential	0.13%	2.94%	N/A
15	349700005	Bembry	5.00	Residential	0.13%	2.94%	1180
16	349200006	Harber	5.00	Residential	0.13%	2.94%	1170
17	348700006	Tharp	5.00	Residential	0.13%	2.94%	N/A
18	344308002	Clegg	10.19	Residential	0.26%	2.94%	N/A
19	248300006	FPL	524.42	Reservoir	13.24%	2.94%	N/A
20	253100002	FPL	702.63	Reservoir	17.75%	2.94%	N/A
21	256400003	FPL	620.80	Reservoir	15.68%	2.94%	N/A
22	397515008	FPL	69.63	Agricultural	1.76%	2.94%	N/A
23	397900002	FPL	9.77	Residential	0.25%	2.94%	N/A
24	397700109	John	20.09	Agri/Res	0.51%	2.94%	1495
25	397700259	John	7.44	Agricultural	0.19%	2.94%	N/A
26	397700359	John	20.67	Agricultural	0.52%	2.94%	N/A
27	397700209	John	20.70	Agricultural	0.52%	2.94%	N/A
28	397700159	John	25.47	Agricultural	0.64%	2.94%	N/A
29	398300004	FPL	400.00	Agricultural	10.10%	2.94%	N/A
30	398200006	FPL	40.00	Agricultural	1.01%	2.94%	N/A
31	396000002	FPL	200.00	Agricultural	5.05%	2.94%	N/A
32	396400004	FPL	10.00	Agricultural	0.25%	2.94%	N/A
33	396300006	FPL	10.00	Agricultural	0.25%	2.94%	N/A
34	396200008	FPL	187.00	Agricultural	4.72%	2.94%	N/A
Total			3959.580		100.00%	100.00%	1,079

10. Citrus Solar Farm, Arcadia, DeSoto County**Surrounding Uses**

#	MAP ID	Owner	GIS Data		Adjoin	Adjoin
			Acres	Present Us	Acres	Parcels
1	26-36-25-0000-0010-0000	FPL	640.00	Agricultural	15.05%	8.33%
2	25-36-25-0000-0010-0000	FPL	622.76	Agricultural	14.64%	8.33%
3	36-36-25-0000-0010-0000	Optimum	640.00	Agricultural	15.05%	8.33%
4	01-37-25-0000-0010-0000	Optimum	637.00	Agricultural	14.98%	8.33%
5	02-37-25-0000-0015-0000	Sorrells	156.64	Agricultural	3.68%	8.33%
6	02-37-25-0000-0020-0000	FPL	79.02	Agricultural	1.86%	8.33%
7	02-37-25-0000-0012-0000	QC LLC	238.50	Agricultural	5.61%	8.33%
8	03-37-25-0000-0010-0000	Turner	267.92	Agricultural	6.30%	8.33%
9	34-36-25-0000-0040-0000	Turner	158.12	Agricultural	3.72%	8.33%
10	34-36-25-0000-0012-0000	Turner	225.00	Agricultural	5.29%	8.33%
11	34-36-25-0000-0011-0000	Turner	118.42	Agricultural	2.78%	8.33%
12	27-36-25-0000-0040-0000	FPL	470.00	Agricultural	11.05%	8.33%
Total			4253.380		100.00%	100.00%

This project is located on a 640-acre tract near NE McIntyre Street, Arcadia, Florida. The adjoining uses are entirely agricultural.

11. Babcock Solar Farm, Port Charlotte, Babcock County

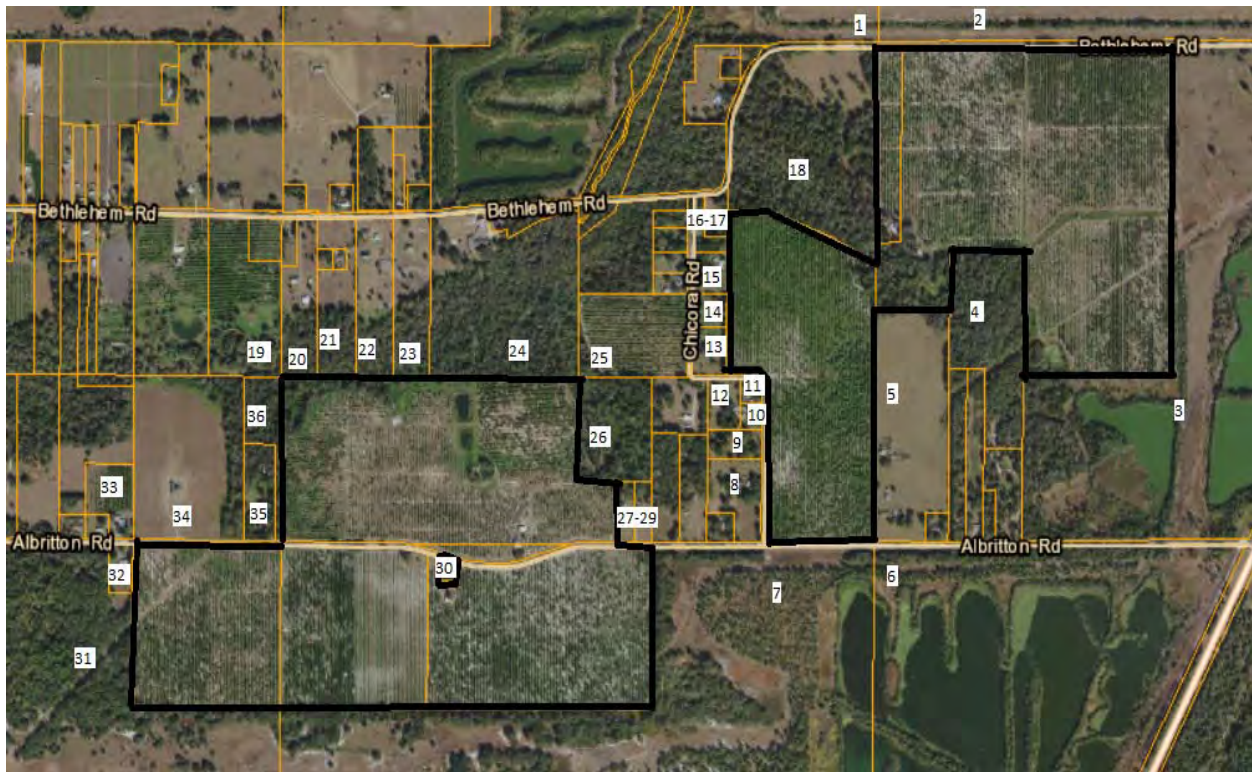


Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin	Adjoin
			Acres	Present Use	Acres	Parcels
1	422707100001	TIITF	64,572.00	Agricultural	97.90%	16.67%
2	412629300001	Babcock	14.36	Agricultural	0.02%	16.67%
3	412632200001	Babcock	304.77	Agricultural	0.46%	16.67%
4	422605100001	Babcock	642.79	Agricultural	0.97%	16.67%
5	422606200001	Babcock	188.53	Agricultural	0.29%	16.67%
6	412631300001	Babcock	233.87	Agricultural	0.35%	16.67%
Total			65,956.32		100.00%	100.00%

This project is located on a 442.61-acre tract located at 8500 SR 31, SE of Port Charlotte, Florida. The adjoining uses are entirely agricultural.

12. Alafia Solar, Mulberry, Polk County



This project is located on a 320.35-acre assemblage for a 51 MW facility. The closest home will be 105 feet away. The adjoining uses are primarily agricultural and residential. This project was modified somewhat during the approval process and the final layout may yield a smaller facility than originally planned. This is still under development.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adj	Adj	Distance (ft)
			Acres	Present Use	Acres	Parcels	Home/Panel
1	11010	Kovacs Inc	172.54	Agricultural	8.13%	2.78%	N/A
2	11010	Kovacs Inc	160.84	Agricultural	7.58%	2.78%	N/A
3	12010	TIITF	204.45	Agricultural	9.64%	2.78%	N/A
4	43020	Stanley	19.1	Agricultural	0.90%	2.78%	N/A
5	44020	Hayman	26.68	Agri/Res	1.26%	2.78%	105
6	14010	TIITF	234.94	Agricultural	11.08%	2.78%	N/A
7	11010	TIITF	523.29	Agricultural	24.67%	2.78%	N/A
8	22020	Allen	6.07	Residential	0.29%	2.78%	195
9	22070	Anischko	2.63	Residential	0.12%	2.78%	285
10	22030	McMahan	0.98	Residential	0.05%	2.78%	N/A
11	22040	Adair	0.94	Residential	0.04%	2.78%	215
12	22060	McMahan	2.67	Residential	0.13%	2.78%	345
13	23050	Miller	2.67	Residential	0.13%	2.78%	240
14	23060	Santana	1.87	Residential	0.09%	2.78%	210
15	23070	Bradford	2.33	Residential	0.11%	2.78%	110
16	23010	South LLC	1.33	Residential	0.06%	2.78%	280
17	14030	Howell	1.7	Residential	0.08%	2.78%	240
18	12030	Albritton	41.98	Agricultural	1.98%	2.78%	N/A
19	21030	Sheffield	16.87	Agricultural	0.80%	2.78%	N/A
20	43010	Unknown	7.99	Residential	0.38%	2.78%	1165
21	43020	Howell	9.03	Residential	0.43%	2.78%	N/A
22	43100	Williamson	9.69	Residential	0.46%	2.78%	1465
23	43050	Wingate	9.71	Residential	0.46%	2.78%	1265
24	41000	Calvary Inc	38.06	Residential	1.79%	2.78%	1235
25	23040	Ray	14.73	Residential	0.69%	2.78%	N/A
26	24010	Howell	12.61	Residential	0.59%	2.78%	N/A
27	24060	Howell	1.62	Residential	0.08%	2.78%	105
28	24070	Carlisle	1.62	Residential	0.08%	2.78%	265
29	24040	Rouse	4.9	Residential	0.23%	2.78%	N/A
30	31020	Wynn	0.63	Residential	0.03%	2.78%	185
31	12010	TIITF	540.27	Agricultural	25.47%	2.78%	N/A
32	13020	Alderman	1.9	Residential	0.09%	2.78%	515
33	24010	Carroll	4.89	Residential	0.23%	2.78%	750
34	22010	Howell	29.65	Agri/Res	1.40%	2.78%	660
35	22030	Franson	4.9	Residential	0.23%	2.78%	445
36	22020	Franson	4.98	Residential	0.23%	2.78%	N/A
Total			2121.060		100.00%	100.00%	490

13. Debary Solar, Debary, Volusia County





This project is located on an 844.63-acre tract for a proposed 74.5 MW facility. The closest home will be 200 feet away. This project is still under development.

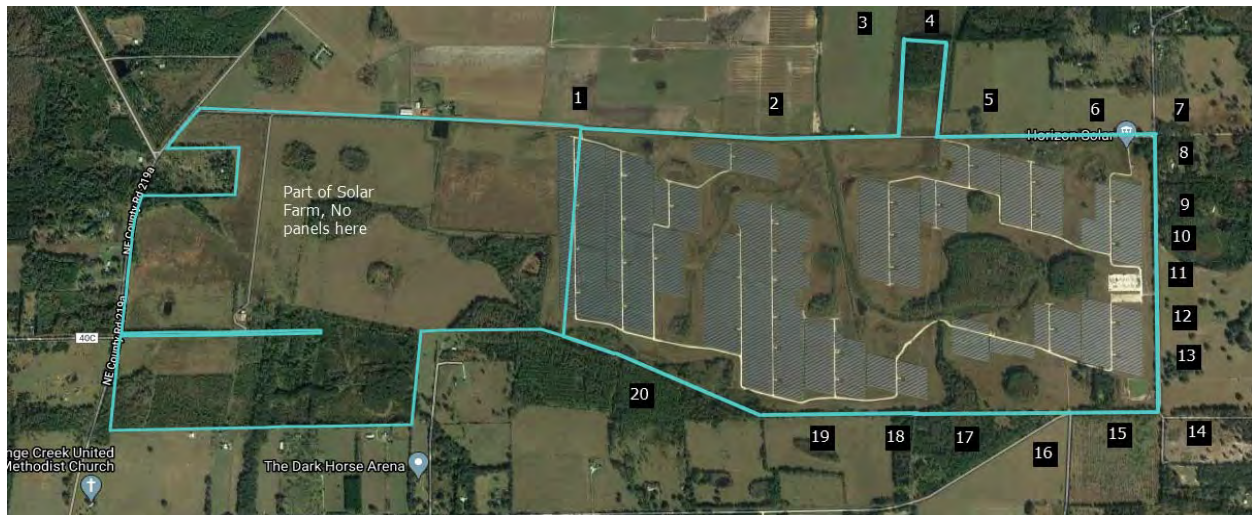
Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin	Adjoin	Distance (ft)
			Acres	Present Use	Acres	Parcels	Home/Panel
1	2413522	Florida Co	295.00	Agricultural	9.01%	1.43%	N/A
2	4592407	Florida Co	235.00	Agricultural	7.18%	1.43%	N/A
3	2399392	Florida Co	200.00	Agricultural	6.11%	1.43%	N/A
4	2399431	Johnson	11.99	Residential	0.37%	1.43%	N/A
5	2352892	Florida State	2196.87	Park	67.12%	1.43%	N/A
6	2397641	Patterson	5.00	Residential	0.15%	1.43%	N/A
7	2397659	Horne	5.00	Residential	0.15%	1.43%	200
8	2397501	Florida Co	39.99	Agricultural	1.22%	1.43%	N/A
9	2397489	Lodestar	80.00	Commercial	2.44%	1.43%	N/A
10	2399457	Lodestar	100.00	Agricultural	3.06%	1.43%	N/A
11	6335931	Debary Inc	8.46	Residential	0.26%	1.43%	N/A
12	6336181	Santiago	0.43	Residential	0.01%	1.43%	885
13	6336199	Herold	0.30	Residential	0.01%	1.43%	965
14	6336202	Pinchevsky	0.37	Residential	0.01%	1.43%	1075
15	6247212	Debary Inc	1.35	Residential	0.04%	1.43%	N/A
16	6242887	Oliff	0.28	Residential	0.01%	1.43%	1520
17	6242879	Reedy	0.30	Residential	0.01%	1.43%	1470
18	6242780	Lighttiser	0.50	Residential	0.02%	1.43%	1480
19	6242771	Reeves	0.44	Residential	0.01%	1.43%	1470
20	6007241	Debary	1.04	Residential	0.03%	1.43%	N/A
21	5684610	Smith	0.55	Residential	0.02%	1.43%	1020
22	5684334	Debary Inc	3.49	Residential	0.11%	1.43%	N/A
23	5684628	Hill	0.33	Residential	0.01%	1.43%	695
24	5684644	Keeney	0.33	Residential	0.01%	1.43%	605
25	5684652	Narvaez	0.37	Residential	0.01%	1.43%	435
26	5684679	Danley	0.33	Residential	0.01%	1.43%	340
27	5684709	Manor	0.32	Residential	0.01%	1.43%	350
28	5684717	Morgan	0.32	Residential	0.01%	1.43%	370
29	6316503	Newhall	3.50	Residential	0.11%	1.43%	N/A
30	5848540	Debary	11.62	Residential	0.36%	1.43%	N/A
31	5853195	Debary	0.43	Residential	0.01%	1.43%	N/A
32	6070962	Debary	7.02	Residential	0.21%	1.43%	N/A
33	6471746	Debary Inc	4.14	Residential	0.13%	1.43%	N/A
34	4894217	Broaddus	1.28	Residential	0.04%	1.43%	320
35	4894225	Detraz	1.01	Residential	0.03%	1.43%	195
36	4894241	Jones	0.42	Residential	0.01%	1.43%	245
37	4894276	Smith	0.43	Residential	0.01%	1.43%	240
38	4894284	Rosamunda	0.42	Residential	0.01%	1.43%	210
39	4894292	Federal Assoc.	0.40	Residential	0.01%	1.43%	210

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin	Adjoin	Dist.(ft)
			Acres	Present Use	Acres	Parcels	Home/Panel
40	4894306	Conoley	0.40	Residential	0.01%	1.43%	220
41	4894314	Lee	0.96	Residential	0.03%	1.43%	235
42	5011828	Palumbo	0.30	Residential	0.01%	1.43%	225
43	5011810	Damico	0.28	Residential	0.01%	1.43%	215
44	5011801	Dudek	0.31	Residential	0.01%	1.43%	200
45	5011798	Karaffa	0.39	Residential	0.01%	1.43%	225
46	5011780	Byers	0.60	Residential	0.02%	1.43%	235
47	5011755	Gatti	0.76	Residential	0.02%	1.43%	270
48	5081419	Suarez	0.68	Residential	0.02%	1.43%	260
49	5081427	Debra	0.47	Residential	0.01%	1.43%	215
50	5081435	Woodward	0.31	Residential	0.01%	1.43%	210
51	5081443	McIntosh	0.25	Residential	0.01%	1.43%	200
52	5081460	Humphrey	0.40	Residential	0.01%	1.43%	190
53	5081478	IH4 LP	0.40	Residential	0.01%	1.43%	240
54	5081494	Varley	0.43	Residential	0.01%	1.43%	335
55	5081621	Wood	0.48	Residential	0.01%	1.43%	530
56	5081630		0.47	Residential	0.01%	1.43%	625
57	5081672	Tippens	0.58	Residential	0.02%	1.43%	710
58	5081818	Thorne	0.67	Residential	0.02%	1.43%	975
59	5081826	Meyers	0.42	Residential	0.01%	1.43%	1000
60	5081834	Decker	0.41	Residential	0.01%	1.43%	1105
61	2419903	Montoya	0.69	Residential	0.02%	1.43%	1445
62	2419911	Weaver	0.69	Residential	0.02%	1.43%	1390
63	2419920	Wentworth	0.69	Residential	0.02%	1.43%	1410
64	2419938	Rice	0.69	Residential	0.02%	1.43%	1410
65	2419946	Edwards	0.65	Residential	0.02%	1.43%	1400
66	6345422	Debary City	27.78	Park	0.85%	1.43%	N/A
67	2415401	Boland	1.40	Residential	0.04%	1.43%	1620
68	2414006	Kuhn	2.00	Residential	0.06%	1.43%	N/A
69	2413689	Florida Co	6.90	Residential	0.21%	1.43%	N/A
70	4842870	Colonial LLC	2.42	Warehouse	0.07%	1.43%	N/A
Total			3272.910		100.00%	100.00%	654

14. Horizon Solar, Hawthorne, Alachua & Putnam County



This project is located on a 684-acre tract for a 74.5 MW facility. All adjoining uses are agricultural and residential. This project was built in 2018.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin Acres	Adjoin Parcels	Distance (ft Home/Pane
			Acres	Present Use			
1	19048-001-001	North Farms	63.98	Agricultural	7.14%	5.00%	N/A
2	19048-002-000	North Farms	65.20	Agricultural	7.27%	5.00%	N/A
3	18901-002-000	North Farms	133.73	Agricultural	14.92%	5.00%	N/A
4	18901-000-000	FPL	43.95	Agricultural	4.90%	5.00%	N/A
5	31-09-23-0000-0040-0000	Zinkel	53.58	Agricultural	5.98%	5.00%	N/A
6	31-09-23-0000-0080-0020	Knabb	19.89	Residential	2.22%	5.00%	N/A
7	31-09-23-0000-0030-0000	Harvey	38.10	Agricultural	4.25%	5.00%	N/A
8	31-09-23-0000-0030-0000	Currie	21.46	Agri/Res	2.39%	5.00%	460
9	31-09-23-0000-0020-0000	Wacha	16.46	Residential	1.84%	5.00%	940
10	31-09-23-0000-0020-0010	Wacha	5.00	Residential	0.56%	5.00%	N/A
11	31-09-23-0000-0020-0010	Fredrickson	21.38	Agricultural	2.39%	5.00%	N/A
12	31-09-23-0000-0160-0080	Harmon	21.38	Agricultural	2.39%	5.00%	N/A
13	31-09-23-0000-0090-000	Morris	21.83	Agricultural	2.44%	5.00%	N/A
14	06-10-23-0000-0070-0000	Murguia	20.11	Agricultural	2.24%	5.00%	N/A
15	06-10-23-0000-0090-001	Crocker	34.13	Agricultural	3.81%	5.00%	N/A
16	06-10-23-0000-0100-000	Waters	109.86	Agri/Res	12.26%	5.00%	4025
17	06-10-23-0000-0110-0000	Baker	24.88	Agricultural	2.78%	5.00%	N/A
18	19054-003-000	Baker	6.66	Residential	0.74%	5.00%	N/A
19	19054-004-001	Baker	90.10	Agricultural	10.05%	5.00%	N/A
20	19054-002-001	Null	84.66	Agricultural	9.45%	5.00%	N/A
Total			896.340		100.00%	100.00%	1,808

15. Pioneer Trail Solar, New Smyrna Beach, Columbia County



This project is located on approximately 900 acres out of a 1,202.80-acre tract for a 74.5 MW facility. All adjoining uses are agricultural and residential. This project was built in 2019.



Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin		Distance (ft)
			Acres	Present Use	Acres	Parcels	
1	721900000100	Hill	25.00	Agricultural	1.27%	1.61%	N/A
2	722000004060	Circle C Ranch	76.25	Agricultural	3.88%	1.61%	N/A
3	722000001570	McNamara	5.00	Residential	0.25%	1.61%	N/A
4	722000001040	Circle C Ranch	0.18	Residential	0.01%	1.61%	N/A
5	722000004190	Santago	1.25	Residential	0.06%	1.61%	N/A
6	722000001380	Jefferson	0.91	Residential	0.05%	1.61%	N/A
7	722000001140	Lukacs	0.93	Residential	0.05%	1.61%	N/A
8	722100000056	Circle C Ranch	15.22	Residential	0.77%	1.61%	N/A
9	722100000047	Carbajal	10.22	Residential	0.52%	1.61%	820
10	722000000010	Circle C Ranch	43.75	Agricultural	2.23%	1.61%	N/A
11	722000000310	Circle C Ranch	1.25	Residential	0.06%	1.61%	N/A
12	721700000100	Carnley	28.74	Agri/Res	1.46%	1.61%	1,435
13	721700000020	Moore	152.80	Agricultural	7.78%	1.61%	N/A
14	721600000032	R Alan Weaver	23.30	Warehouse	1.19%	1.61%	N/A
15	721600000061	Weaver Recycling	54.73	Commercial	2.79%	1.61%	N/A
16	72210000004A	State of Fla DOT	2.46	Residential	0.13%	1.61%	N/A
17	722100000050	Black	2.05	Residential	0.10%	1.61%	240
18	722100000054	Stokes	9.84	Residential	0.50%	1.61%	275
19	722100000055	Stokes	2.66	Residential	0.14%	1.61%	N/A
20	721600000061	ABC Weaver LLC	55.65	Agri/Res	2.83%	1.61%	500

#	MAP ID	Owner	GIS Data		Adjoin		Distance (ft)	
			Acres	Present Use	Acres	Parcels	Home/Panel	
21	722100000010	MAG Properties	152.27	Agricultural	7.75%	1.61%	N/A	
22	722800000010	MAG Properties	80.00	Agricultural	4.07%	1.61%	N/A	
23	722800000021	Kirkland	30.00	Agricultural	1.53%	1.61%	N/A	
24	722800000020	Kirkland	50.00	Agri/Res	2.55%	1.61%	1,444	
25	722800000070	Kirkland	11.75	Residential	0.60%	1.61%	N/A	
26	722100000051	Cooper	5.25	Residential	0.27%	1.61%	265	
27	722100000042	Raymond	7.69	Residential	0.39%	1.61%	735	
28	722100000043	Carbajal	7.69	Residential	0.39%	1.61%	475	
29	722100000041	Schwartz	7.69	Residential	0.39%	1.61%	370	
30	722100000046	Pons	7.69	Residential	0.39%	1.61%	695	
31	722100000044	Jimenez	7.69	Residential	0.39%	1.61%	535	
32	722100000045	Fick	7.93	Residential	0.40%	1.61%	225	
33	722800000073	Schlack	15.64	Residential	0.80%	1.61%	N/A	
34	722800000072	Findley	13.51	Residential	0.69%	1.61%	1,935	
35	722800000030	Forbes	190.00	Agri/Res	9.67%	1.61%	2,600	
36	722800000060	Carter	120.00	Agricultural	6.11%	1.61%	N/A	
37	723300000010	Carter	480.00	Agricultural	24.44%	1.61%	N/A	
38	723300000021	Quarenghi	43.44	Agricultural	2.21%	1.61%	N/A	
39	722001080011	Bond	10.00	Residential	0.51%	1.61%	N/A	
40	722001080010	Behavior Change	10.00	Residential	0.51%	1.61%	N/A	
41	722001080031	Behavior Change	10.00	Residential	0.51%	1.61%	N/A	
42	722001080030	Ashby	10.00	Residential	0.51%	1.61%	N/A	
43	722001080040	Miles	20.00	Agri/Res	1.02%	1.61%	2,905	
44	722001070010	Wagner	40.00	Agri/Res	2.04%	1.61%	2,520	
45	722001070030	Wagner	25.00	Agri/Res	1.27%	1.61%	2,590	
46	722001070040	Ziffra	15.00	Residential	0.76%	1.61%	N/A	
47	722001070050	Barsh	15.87	Residential	0.81%	1.61%	2,695	
48	723000000740	Nisbett	1.00	Residential	0.05%	1.61%	N/A	
49	723000000750	Ritterbush	7.50	Residential	0.38%	1.61%	1,970	
50	723000000720	Dawkins	5.00	Residential	0.25%	1.61%	1,540	
51	723000000070	Monty	5.00	Residential	0.25%	1.61%	N/A	
52	723000000690	Kanya	2.50	Residential	0.13%	1.61%	N/A	
53	723000000680	Velvet	2.50	Residential	0.13%	1.61%	580	
54	723000000650	AN786 LLC	2.50	Residential	0.13%	1.61%	N/A	
55	723000000060	Sidani	4.20	Residential	0.21%	1.61%	605	
56	723000000460	Perez	5.00	Residential	0.25%	1.61%	735	
57	723000000030	Parisot	5.00	Residential	0.25%	1.61%	N/A	
58	723000000450	McNeill	5.00	Residential	0.25%	1.61%	N/A	
59	723000000021	Hodges	1.25	Residential	0.06%	1.61%	N/A	
60	723000000390	Cruncleton	5.00	Residential	0.25%	1.61%	N/A	
61	723000000392	Hopkins	1.25	Residential	0.06%	1.61%	N/A	
62	721900000100	Porn	5.00	Residential	0.25%	1.61%	350	
Total			1964.000		100.00%	100.00%	1,162	

16. Sunshine Gateway Solar, Lake City, Columbia County

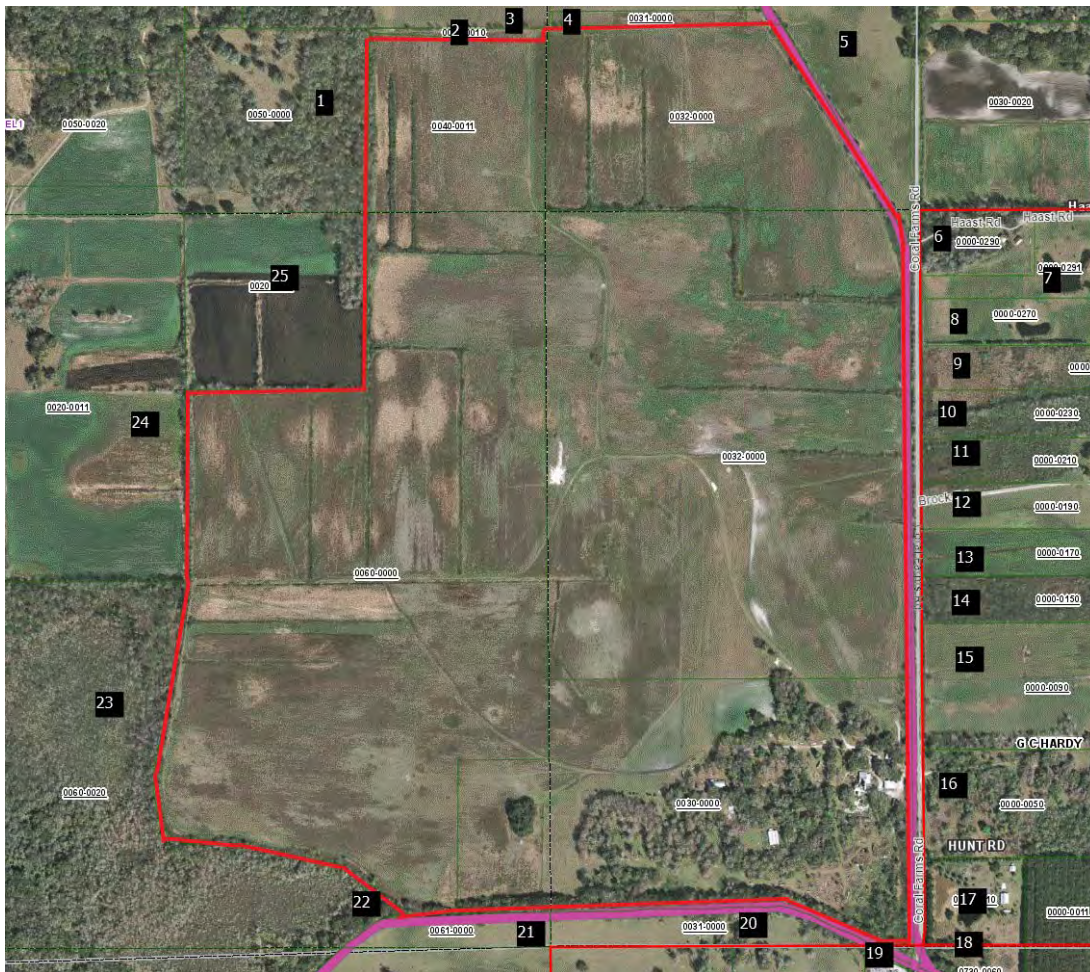


This project is located on 472 acres out of a 904.29-acre tract for a 74.5 MW facility. All adjoining uses are agricultural and residential. This project was built in 2019.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin		Distance (ft)
			Acres	Present Use	Acres	Parcels	Home/Panel
1	26-2S-15-00101	Lee	28.83	Agricultural	3.32%	3.70%	N/A
2	26-2S-15-00098	Gayle	5.01	Residential	0.58%	3.70%	N/A
3	26-2S-15-00098	Cambell	10.31	Residential	1.19%	3.70%	N/A
4	26-2S-15-00098	Helms	9.22	Residential	1.06%	3.70%	N/A
5	26-2S-15-00098	Peart	5.01	Residential	0.58%	3.70%	N/A
6	26-2S-15-00098	Helms	5.01	Residential	0.58%	3.70%	N/A
7	26-2S-15-00093	Baker	6.93	Residential	0.80%	3.70%	1,105
8	26-2S-15-00093	Jordan	98.00	Agricultural	11.28%	3.70%	N/A
9	26-2S-15-00092	Jordan	15.92	Agricultural	1.83%	3.70%	N/A
10	26-2S-15-00093	Jordan	19.40	Agricultural	2.23%	3.70%	N/A
11	31-2S-16-01793	Jordan	32.50	Agricultural	3.74%	3.70%	N/A
12	31-2S-16-01793	FPL	40.50	Agricultural	4.66%	3.70%	N/A
13	31-2S-16-01797	Bowles	37.00	Agricultural	4.26%	3.70%	N/A
14	31-2S-15-00124	Giebeig	7.63	Residential	0.88%	3.70%	N/A
15	36-2S-15-00116	Loges	22.50	Agricultural	2.59%	3.70%	N/A
16	36-2S-15-00116	Terry	22.70	Agricultural	2.61%	3.70%	N/A
17	36-2S-15-00116	Reynolds	37.73	Agri/Res	4.34%	3.70%	890
18	35-2S-15-00108	Dominguez	35.48	Agri/Res	4.08%	3.70%	1,705
19	35-2S-15-00109	Fl DOT	13.91	Residential	1.60%	3.70%	N/A
20	35-2S-15-00109	DOT Rest Area	13.50	Residential	1.55%	3.70%	N/A
21	35-2S-15-00111	Parsons	102.63	Agricultural	11.81%	3.70%	N/A
22	35-2S-15-00111	Torrese	11.49	Residential	1.32%	3.70%	N/A
23	35-2S-15-00111	FPL	8.75	Residential	1.01%	3.70%	N/A
24		Adjacent County	79.82	Agricultural	9.19%	3.70%	N/A
25	26-2S-15-00194	Driggers	160.00	Agricultural	18.42%	3.70%	N/A
26	26-2S-15-00104	Driggers	38.00	Agricultural	4.37%	3.70%	N/A
27	26-2S-15-00106	Lee	1.00	Residential	0.12%	3.70%	N/A
Total			868.779		100.00%	100.00%	1,233

17. Coral Farms Solar, Florahome, Putnam County



This project is located on 580 acres out of a 666.54-acre tract for a 74.5 MW facility. All adjoining uses are agricultural and residential. This project was built in 2018.

Surrounding Uses

#	MAP ID	Owner	GIS Data		Adjoin		Distance (ft)	
			Acres	Present Use	Acres	Parcels	Home/Panel	
1	28-08-24-0000-0050-0000	Frazel	48.07	Agricultural	5.38%	4.00%	N/A	
2	28-08-24-0000-0040-0010	Frazel	2.11	Residential	0.24%	4.00%	N/A	
3	28-08-24-0000-0010-0000	Frazel	218.86	Agricultural	24.49%	4.00%	N/A	
4	28-08-24-0000-0040-0010	Frazel	3.19	Residential	0.36%	4.00%	N/A	
5	27-08-24-0000-0030-0000	Griffin	169.89	Agricultural	19.01%	4.00%	N/A	
6	34-08-24-3505-0000-0290	Livingstone	9.02	Residential	1.01%	4.00%	765	
7	34-08-24-3505-0000-0291	Jones	10.36	Residential	1.16%	4.00%	N/A	
8	34-08-24-3505-0000-0270	Jones	9.70	Residential	1.09%	4.00%	N/A	
9	34-08-24-3505-0000-0250	Wood	19.30	Residential	2.16%	4.00%	N/A	
10	34-08-24-3505-0000-0230	Bynum	14.30	Residential	1.60%	4.00%	1,965	
11	34-08-24-3505-0000-0210	Banks	14.30	Residential	1.60%	4.00%	1,640	
12	34-08-24-3505-0000-0190	Williams	15.01	Residential	1.68%	4.00%	1,630	
13	34-08-24-3505-0000-0170	Beck	15.01	Residential	1.68%	4.00%	1,615	
14	34-08-24-3505-0000-0150	Bledsoe	15.00	Residential	1.68%	4.00%	1,780	
15	34-08-24-3505-0000-0090	Morris	35.71	Agri/Res	4.00%	4.00%	1,750	
16	34-08-24-3505-0000-0050	Deyo	25.00	Agri/Res	2.80%	4.00%	1,625	
17	34-08-24-3505-0000-0010	Grossman	11.79	Residential	1.32%	4.00%	1,755	
18	03-09-24-2600-0730-0060	Grossman	5.97	Residential	0.67%	4.00%	N/A	
19	03-09-24-2600-0740-0052	Coral Farms LLC	0.31	Residential	0.03%	4.00%	N/A	
20	34-08-24-0000-0031-0000	Griffin	14.40	Residential	1.61%	4.00%	N/A	
21	33-08-24-0000-0061-0000	Griffin	4.49	Residential	0.50%	4.00%	N/A	
22	33-08-24-0000-0060-0030	Whitehead	1.02	Residential	0.11%	4.00%	N/A	
23	33-08-24-0000-0060-0020	McLaughlin	91.01	Agricultural	10.18%	4.00%	N/A	
24	33-08-24-0000-0060-0010	Frazel	39.92	Agricultural	4.47%	4.00%	N/A	
25	33-08-24-0000-0020-0011	Frazel	99.87	Agricultural	11.18%	4.00%	N/A	
Total			893.610		100.00%	100.00%	1,614	

II. Market Analysis of the Impact on Value from Solar Farms

I have researched hundreds of solar farms in numerous states to determine the impact of these facilities on the value of adjoining property. This research has primarily been in North Carolina, but I have also conducted market impact analyses in Virginia, South Carolina, Tennessee, Texas, Oregon, Mississippi, Maryland, New York, California, Missouri, Florida, Montana, Georgia, Kentucky, and New Jersey

Wherever I have looked at solar farms, I have derived a breakdown of the adjoining uses to show what adjoining uses are typical for solar farms and what uses would likely be considered consistent with a solar farm use similar to the breakdown that I've shown for the subject property on the previous page. A summary showing the results of compiling that data over hundreds of solar farms is shown later in the Scope of Research section of this report.

I also consider whether the properties adjoining a solar farm in one location have characteristics similar to the properties abutting or adjoining the proposed site so that I can make an assessment of market impact on each proposed site. Notably, in most cases solar farms are placed in areas very similar to the site in question, which is surrounded by low density residential and agricultural uses. In my over 600 studies, I have found a striking repetition of that same typical adjoining use mix in over 90% of the solar farms I have looked at. Matched pair results in multiple states are strikingly similar, and all indicate that solar farms – which generate very little traffic, and do not generate noise, dust or have other harmful effects – do not negatively impact the value of adjoining or abutting properties.

I have broken this down to show the data in Florida first and then followed that up with data from across the country including Florida for additional support.

A. *Florida Data*

13. Matched Pair – Manatee Solar Farm, Parrish, FL



This solar farm is located near Seminole Trail, Parrish, FL. The solar farm has a 74.50 MW output and is located on a 1,180.38 acre tract and was built in 2016. The tract is owned by Florida Power & Light Company.

I have considered the recent sale of 13670 Highland Road, Wimauma, Florida. This one-story, block home is located just north of the solar farm and separated from the solar farm by a railroad corridor. This home is a 3 BR, 3 BA 1,512 s.f. home with a carport and workshop. The property includes new custom cabinets, granite counter tops, brand new stainless steel appliances, updated bathrooms and new carpet in the bedrooms. The home is sitting on 5 acres. The home was built in 1997.

I have compared this sale to several nearby homesales as part of this matched pair analysis as shown below.

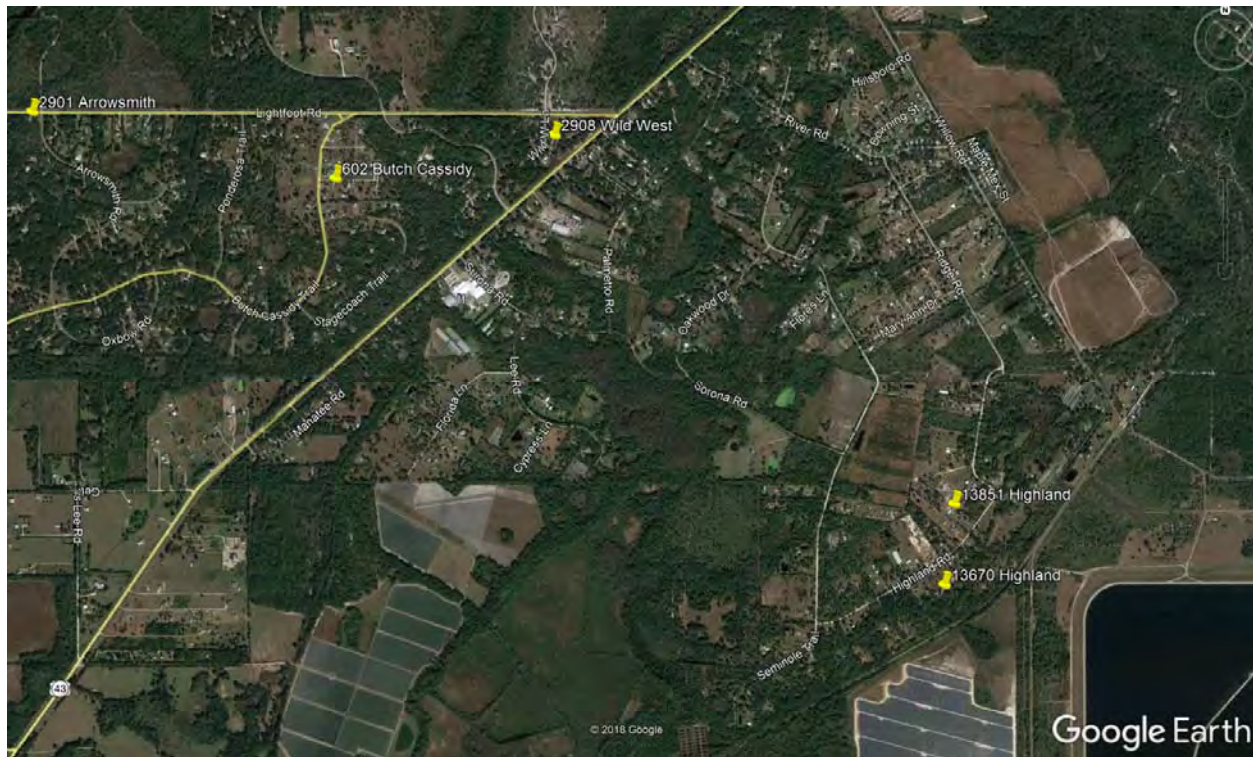
Solar	TAX ID/Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Note
Adjoins	13670 Highland	5.00	8/21/2017	\$255,000	1997	1,512	\$168.65	3/3	Carport/Wrkshp	Ranch	Renov.
Not	2901 Arrowsmith	1.91	1/31/2018	\$225,000	1979	1,636	\$137.53	3/2	2 Garage/Wrkshp	Ranch	
Not	602 Butch Cassidy	1.00	5/5/2017	\$220,000	2001	1,560	\$141.03	3/2	N/A	Ranch	Renov.
Not	2908 Wild West	1.23	7/12/2017	\$254,000	2003	1,554	\$163.45	3/2	2 Garage/Wrkshp	Ranch	Renov.
Not	13851 Highland	5.00	9/13/2017	\$240,000	1978	1,636	\$146.70	4/2	3 Garage	Ranch	Renov.

Adjoining Sales Adjusted										
Solar	TAX ID/Address	Time	Acres	YB	GLA	BR/BA	Park	Note	Total	% Diff
Adjoins	13670 Highland								\$255,000	
Not	2901 Arrowsmith	\$2,250	\$10,000	\$28,350	-\$8,527	\$5,000	-\$10,000	\$10,000	\$262,073	-3%
Not	602 Butch Cassidy	-\$2,200	\$10,000	-\$6,160	-\$3,385	\$5,000	\$2,000		\$225,255	12%
Not	2908 Wild West	\$0	\$10,000	-\$10,668	-\$3,432	\$5,000	-\$10,000		\$244,900	4%
Not	13851 Highland	\$0	\$0	\$31,920	-\$9,095	\$3,000	-\$10,000		\$255,825	0%
Average										3%

The sales prices of the comparables before adjustments range from \$220,000 to \$254,000. After adjustments they range from \$225,255 to \$262,073. The comparables range from no impact to a strong positive impact. The comparables showing -3% and +4% impact on value are considered within a typical range of value and therefore not indicative of any impact on property value.

This set of matched pair data falls in line with the data seen in other states. The closest solar panel to the home at 13670 Highland is 1,180 feet. There is a wooded buffer between these two properties.

I have included a map showing the relative location of these properties below.



B. National Data

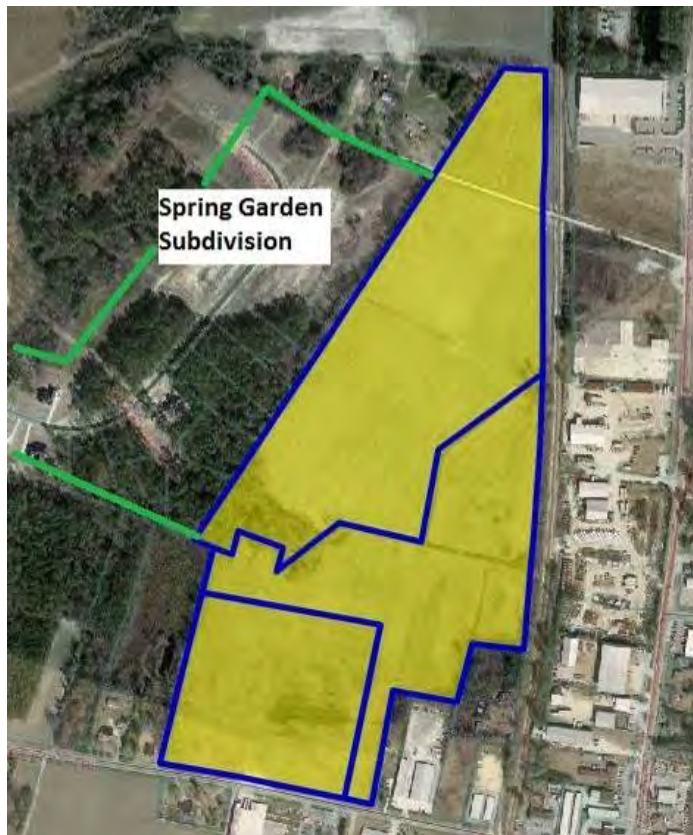
1. Matched Pair – AM Best Solar Farm, Goldsboro, NC

This solar farm adjoins Spring Garden Subdivision which had new homes and lots available for new construction during the approval and construction of the solar farm. The recent home sales have ranged from \$200,000 to \$250,000. This subdivision sold out the last homes in late 2014. The solar farm is clearly visible particularly along the north end of this street where there is only a thin line of trees separating the solar farm from the single-family homes.

Homes backing up to the solar farm are selling at the same price for the same floor plan as the homes that do not back up to the solar farm in this subdivision. According to the builder, the solar farm has been a complete non-factor. Not only do the sales show no difference in the price paid for the various homes adjoining the solar farm versus not adjoining the solar farm, but there are actually more recent sales along the solar farm than not. There is no impact on the sellout rate, or time to sell for the homes adjoining the solar farm.

I spoke with a number of owners who adjoin the solar farm and none of them expressed any concern over the solar farm impacting their property value.

The data presented on the following page shows multiple homes that have sold in 2013 and 2014 adjoining the solar farm at prices similar to those not along the solar farm. These series of sales indicate that the solar farm has no impact on the adjoining residential use.



The homes that were marketed at Spring Garden are shown below.

	Americana SqFt: 3,194 Bed / Bath: 3 / 3.5	Price: \$237,900 View Now »		Washington SqFt: 3,292 Bed / Bath: 4 / 3.5	Price: \$244,900 View Now »
	Presidential SqFt: 3,400 Bed / Bath: 5 / 3.5	Price: \$247,900 View Now »		Kennedy SqFt: 3,494 Bed / Bath: 5 / 3	Price: \$249,900 View Now »
	Virginia SqFt: 3,449 Bed / Bath: 5 / 3	Price: \$259,900 View Now »			

Matched Pairs

As of Date: 9/3/2014

Adjoining Sales After Solar Farm Completed

TAX ID	Owner	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	Style
3600195570	Helm	0.76	Sep-13	\$250,000	2013	3,292	\$75.94	2 Story
3600195361	Leak	1.49	Sep-13	\$260,000	2013	3,652	\$71.19	2 Story
3600199891	McBrayer	2.24	Jul-14	\$250,000	2014	3,292	\$75.94	2 Story
3600198632	Foresman	1.13	Aug-14	\$253,000	2014	3,400	\$74.41	2 Story
3600196656	Hinson	0.75	Dec-13	\$255,000	2013	3,453	\$73.85	2 Story
	Average	1.27		\$253,600	2013.4	3,418	\$74.27	
	Median	1.13		\$253,000	2013	3,400	\$74.41	

Adjoining Sales After Solar Farm Announced

TAX ID	Owner	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	Style
0	Feddersen	1.56	Feb-13	\$247,000	2012	3,427	\$72.07	Ranch
0	Gentry	1.42	Apr-13	\$245,000	2013	3,400	\$72.06	2 Story
	Average	1.49		\$246,000	2012.5	3,414	\$72.07	
	Median	1.49		\$246,000	2012.5	3,414	\$72.07	

Adjoining Sales Before Solar Farm Announced

TAX ID	Owner	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	Style
3600183905	Carter	1.57	Dec-12	\$240,000	2012	3,347	\$71.71	1.5 Story
3600193097	Kelly	1.61	Sep-12	\$198,000	2012	2,532	\$78.20	2 Story
3600194189	Hadwan	1.55	Nov-12	\$240,000	2012	3,433	\$69.91	1.5 Story
	Average	1.59		\$219,000	2012	2,940	\$74.95	
	Median	1.59		\$219,000	2012	2,940	\$74.95	

Nearby Sales After Solar Farm Completed

TAX ID	Owner	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	Style
3600193710	Barnes	1.12	Oct-13	\$248,000	2013	3,400	\$72.94	2 Story
3601105180	Nackley	0.95	Dec-13	\$253,000	2013	3,400	\$74.41	2 Story
3600192528	Mattheis	1.12	Oct-13	\$238,000	2013	3,194	\$74.51	2 Story
3600198928	Beckman	0.93	Mar-14	\$250,000	2014	3,292	\$75.94	2 Story
3600196965	Hough	0.81	Jun-14	\$224,000	2014	2,434	\$92.03	2 Story
3600193914	Preskitt	0.67	Jun-14	\$242,000	2014	2,825	\$85.66	2 Story
3600194813	Bordner	0.91	Apr-14	\$258,000	2014	3,511	\$73.48	2 Story
3601104147	Shaffer	0.73	Apr-14	\$255,000	2014	3,453	\$73.85	2 Story
	Average	0.91		\$246,000	2013.625	3,189	\$77.85	
	Median	0.92		\$249,000	2014	3,346	\$74.46	

Nearby Sales Before Solar Farm Announced

TAX ID	Owner	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	Style
3600191437	Thomas	1.12	Sep-12	\$225,000	2012	3,276	\$68.68	2 Story
3600087968	Lilley	1.15	Jan-13	\$238,000	2012	3,421	\$69.57	1.5 Story
3600087654	Burke	1.26	Sep-12	\$240,000	2012	3,543	\$67.74	2 Story
3600088796	Hobbs	0.73	Sep-12	\$228,000	2012	3,254	\$70.07	2 Story
	Average	1.07		\$232,750	2012	3,374	\$69.01	
	Median	1.14		\$233,000	2012	3,349	\$69.13	

Matched Pair Summary

	Adjoins Solar Farm		Nearby Solar Farm	
	Average	Median	Average	Median
Sales Price	\$253,600	\$253,000	\$246,000	\$249,000
Year Built	2013	2013	2014	2014
Size	3,418	3,400	3,189	3,346
Price/SF	\$74.27	\$74.41	\$77.85	\$74.46

Percentage Differences

Median Price	-2%
Median Size	-2%
Median Price/SF	0%

I note that 2308 Granville Drive sold again in November 2015 for \$267,500, or \$7,500 more than when it was purchased new from the builder two years earlier (Tax ID 3600195361, Owner: Leak). The neighborhood is clearly showing appreciation for homes adjoining the solar farm.

The Median Price is the best indicator to follow in any analysis as it avoids outlying samples that would otherwise skew the results. The median sizes and median prices are all consistent throughout the sales both before and after the solar farm whether you look at sites adjoining or nearby to the solar farm. The average for the homes nearby the solar farm shows a smaller building size and a higher price per square foot. This reflects a common occurrence in real estate where the price per square foot goes up as the size goes down. This is similar to the discount you see in any market where there is a discount for buying larger volumes. So when you buy a 2 liter coke you pay less per ounce than if you buy a 16 oz. coke. So even comparing averages the indication is for no impact, but I rely on the median rates as the most reliable indication for any such analysis.

I have also considered four more recent resales of homes in this community as shown on the following page. These comparable sales adjoin the solar farm at distances ranging from 315 to 400 feet. The matched pairs show a range from -9% to +6%. The range of the average difference is -2% to +1% with an average of 0% and a median of +0.5%. These comparable sales support a finding of no impact on property value.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
	Adjoins	103 Granville Pl	1.42	7/27/2018	\$265,000	2013	3,292	\$80.50	4/3.5	2-Car	2-Story		385
	Not	2219 Granville	1.15	1/8/2018	\$260,000	2012	3,292	\$78.98	4/3.5	2-Car	2-Story		
	Not	634 Friendly	0.96	7/31/2019	\$267,000	2018	3,053	\$87.45	4/4.5	2-Car	2-Story		
	Not	2403 Granville	0.69	4/23/2019	\$265,000	2014	2,816	\$94.11	5/3.5	2-Car	2-Story		
												Avg	
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff	
	Adjoins	103 Granville Pl								\$265,000		-2%	
	Not	2219 Granville	\$4,382		\$1,300	\$0				\$265,682	0%		
	Not	634 Friendly	-\$8,303		-\$6,675	\$16,721	-\$10,000			\$258,744	2%		
	Not	2403 Granville	-\$6,029		-\$1,325	\$31,356				\$289,001	-9%		

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
	Adjoins	104 Erin	2.24	6/19/2017	\$280,000	2014	3,549	\$78.90	5/3.5	2-Car	2-Story		315
	Not	2219 Granville	1.15	1/8/2018	\$260,000	2012	3,292	\$78.98	4/3.5	2-Car	2-Story		
	Not	634 Friendly	0.96	7/31/2019	\$267,000	2018	3,053	\$87.45	4/4.5	2-Car	2-Story		
	Not	2403 Granville	0.69	4/23/2019	\$265,000	2014	2,816	\$94.11	5/3.5	2-Car	2-Story		
												Avg	
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff	
	Adjoins	104 Erin								\$280,000		0%	
	Not	2219 Granville	-\$4,448		\$2,600	\$16,238				\$274,390	2%		
	Not	634 Friendly	-\$17,370		-\$5,340	\$34,702	-\$10,000			\$268,992	4%		
	Not	2403 Granville	-\$15,029		\$0	\$48,285				\$298,256	-7%		

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
	Adjoins	2312 Granville	0.75	5/1/2018	\$284,900	2013	3,453	\$82.51	5/3.5	2-Car	2-Story		400
	Not	2219 Granville	1.15	1/8/2018	\$260,000	2012	3,292	\$78.98	4/3.5	2-Car	2-Story		
	Not	634 Friendly	0.96	7/31/2019	\$267,000	2018	3,053	\$87.45	4/4.5	2-Car	2-Story		
	Not	2403 Granville	0.69	4/23/2019	\$265,000	2014	2,816	\$94.11	5/3.5	2-Car	2-Story		
												Avg	
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff	
	Adjoins	2312 Granville								\$284,900		1%	
	Not	2219 Granville	\$2,476		\$1,300	\$10,173				\$273,948	4%		
	Not	634 Friendly	-\$10,260		-\$6,675	\$27,986	-\$10,000			\$268,051	6%		
	Not	2403 Granville	-\$7,972		-\$1,325	\$47,956				\$303,659	-7%		

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
	Adjoins	2310 Granville	0.76	5/14/2019	\$280,000	2013	3,292	\$85.05	5/3.5	2-Car	2-Story		400
	Not	2219 Granville	1.15	1/8/2018	\$260,000	2012	3,292	\$78.98	4/3.5	2-Car	2-Story		
	Not	634 Friendly	0.96	7/31/2019	\$267,000	2018	3,053	\$87.45	4/4.5	2-Car	2-Story		
	Not	2403 Granville	0.69	4/23/2019	\$265,000	2014	2,816	\$94.11	5/3.5	2-Car	2-Story		
												Avg	
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff	
	Adjoins	2310 Granville								\$280,000		1%	
	Not	2219 Granville	\$10,758		\$1,300	\$0				\$272,058	3%		
	Not	634 Friendly	-\$1,755		-\$6,675	\$16,721	-\$10,000			\$265,291	5%		
	Not	2403 Granville	\$469		-\$1,325	\$31,356				\$295,500	-6%		

	Address	Initial Sale		Second Sale		Year	%		Apprec.
		Date	Price	Date	Price	Diff	Apprec.	Apprec.	%/Year
1	103 Granville Pl	4/1/2013	\$245,000	7/27/2018	\$265,000	5.32	\$20,000	8.16%	1.53%
2	105 Erin	7/1/2014	\$250,000	6/19/2017	\$280,000	2.97	\$30,000	12.00%	4.04%
3	2312 Granville	12/1/2013	\$255,000	5/1/2015	\$262,000	1.41	\$7,000	2.75%	1.94%
4	2312 Granville	5/1/2015	\$262,000	5/1/2018	\$284,900	3.00	\$22,900	8.74%	2.91%
5	2310 Granville	8/1/2013	\$250,000	5/14/2019	\$280,000	5.79	\$30,000	12.00%	2.07%
6	2308 Granville	9/1/2013	\$260,000	11/12/2015	\$267,500	2.20	\$7,500	2.88%	1.31%
7	2304 Granville	9/1/2012	\$198,000	6/1/2017	\$225,000	4.75	\$27,000	13.64%	2.87%
8	102 Erin	8/1/2014	\$253,000	11/1/2016	\$270,000	2.25	\$17,000	6.72%	2.98%
								Average	2.46%
								Median	2.47%

2. Matched Pair – White Cross Solar Farm, Chapel Hill, NC



A new solar farm was built at 2159 White Cross Road in Chapel Hill, Orange County in 2013. After construction, the owner of the underlying land sold the balance of the tract not encumbered by the solar farm in July 2013 for \$265,000 for 47.20 acres, or \$5,606 per acre. This land adjoins the solar farm to the south and was clear cut of timber around 10 years ago. I compared this purchase to a nearby transfer of 59.09 acres of timber land just south along White Cross Road that sold in November 2010 for \$361,000, or \$6,109 per acre. After purchase, this land was divided into three mini farm tracts of 12 to 20 acres each. These rates are very similar and the difference in price per acre is attributed to the timber value and not any impact of the solar farm.

Type	TAX ID	Owner	Acres	Date	Price	\$/Acre	Notes	Conf By
Adjoins Solar	9748336770	Haggerty	47.20	Jul-13	\$265,000	\$5,614	Clear cut	Betty Cross, broker
Not Near Solar	9747184527	Purcell	59.09	Nov-10	\$361,000	\$6,109	Wooded	Dickie Andrews, broker

The difference in price is attributed to the trees on the older sale.

No impact noted for the adjacency to a solar farm according to the broker.

I looked at a number of other nearby land sales without proximity to a solar farm for this matched pair, but this land sale required the least allowance for differences in size, utility and location.

Matched Pair Summary

	Adjoins Solar Farm		Nearby Solar Farm	
	Average	Median	Average	Median
Sales Price	\$5,614	\$5,614	\$6,109	\$6,109
Adjustment for Timber	\$500	\$500		
Adjusted	\$6,114	\$6,114	\$6,109	\$6,109
Tract Size	47.20	47.20	59.09	59.09

Percentage Differences

Median Price Per Acre	0%
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This matched pair again supports the conclusion that adjacency to a solar farm has no impact on adjoining residential/agricultural land.

3. Matched Pair – Wagstaff Farm, Roxboro, NC



This solar farm is located at the northeast corner of a 594-acre farm with approximately 30 acres of solar farm area. This solar farm was approved and constructed in 2013.

After approval, 18.82 acres were sold out of the parent tract to an adjoining owner to the south. This sale was at a similar price to nearby land to the east that sold in the same time from for the same price per acre as shown below.

Type	TAX ID	Owner	Acres	Present Use	Date Sold	Price	\$/AC
Adjoins Solar	0918-17-11-7960	Piedmont	18.82	Agricultural	8/19/2013	\$164,000	\$8,714
Not Near Solar	0918-00-75-9812 et al	Blackwell	14.88	Agricultural	12/27/2013	\$130,000	\$8,739

Matched Pair Summary

	Adjoins Solar Farm		Nearby Solar Farm	
	Average	Median	Average	Median
Sales Price	\$8,714	\$8,714	\$8,739	\$8,739
Tract Size	18.82	18.82	14.88	14.88

Percentage Differences

Median Price Per Acre	0%
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This matched pair again supports the conclusion that adjacency to a solar farm has no impact on adjoining residential/agricultural land.

4. Matched Pair – Mulberry, Selmer, TN



This solar farm was built in 2014 on 208.89 acres with the closest home being 480 feet away.

This solar farm adjoins two subdivisions with Central Hills having a mix of existing and new construction homes. Lots in this development have been marketed for \$15,000 each with discounts offered for multiple lots being used for a single home site. I spoke with the agent with Rhonda Wheeler and Becky Hearnberger with United County Farm & Home Realty who noted that they have seen no impact on lot or home sales due to the solar farm in this community.

I have included a map below as well as data on recent sales activity on lots that adjoin the solar farm or are near the solar farm in this subdivision both before and after the announced plan for this solar farm facility. I note that using the same method I used to breakdown the adjoining uses at the subject property I show that the predominant adjoining uses are residential and agricultural, which is consistent with the location of most solar farms.

Adjoining Use Breakdown

	Acreage	Parcels
Commercial	3.40%	0.034
Residential	12.84%	79.31%
Agri/Res	10.39%	3.45%
Agricultural	73.37%	13.79%
Total	100.00%	100.00%

From the above map, I identified four recent sales of homes that occurred adjoining the solar farm both before and after the announcement of the solar farm. I have adjusted each of these for differences in size and age in order to compare these sales among themselves. As shown below after adjustment, the median value is \$130,776 and the sales prices are consistent with one outlier which is also the least comparable home considered. The close grouping and the similar price per point overall as well as the similar price per square foot both before and after the solar farm.

Matched Pairs

#	TAX ID	Owner	Date Sold	Sales Price	Acres	Built	GBA	\$/GBA	Style	Parking
6&7	0900 A 011.00	Henson	Jul-14	\$130,000	2.65	2007	1,511	\$86.04	1 Story	2 Garage
12	0900 A 003.00	Amerson	Aug-12	\$130,000	1.20	2011	1,586	\$81.97	1 Story	2 Garage
15	099C A 003.00	Smallwood	May-12	\$149,900	1.00	2002	1,596	\$93.92	1 Story	4 Garage
16	099C A 002.00	Hessing	Jun-15	\$130,000	1.00	1999	1,782	\$72.95	1 Story	2 Garage
		Average		\$134,975	1.46	2005	1,619	\$83.72		
		Median		\$130,000	1.10	2005	1,591	\$84.00		

Adjustments*										
#	TAX ID	Owner	Date Sold	Sales Price	Acres	Built	GBA	Style	Parking	Total
6&7	0900 A 011.00	Henson	Jul-14	\$130,000	-\$7,500	\$2,600	\$6,453	\$0	\$0	\$131,553
12	0900 A 003.00	Amerson	Aug-12	\$130,000	\$0	\$0	\$0	\$0	\$0	\$130,000
15	099C A 003.00	Smallwood	May-12	\$149,900	\$0	\$6,746	-\$939	\$0	-\$15,000	\$140,706
16	099C A 002.00	Hessing	Jun-15	\$130,000	\$0	\$7,800	-\$14,299	\$0	\$0	\$123,501
		Average		\$134,975	-\$1,875	\$4,286	-\$2,196	\$0	-\$3,750	\$131,440
		Median		\$130,000	\$0	\$4,673	-\$470	\$0	\$0	\$130,776

* I adjusted all of the comparables to a base line 2011 Year Built and 1,586 s.f. based on Lot 12

I also considered a number of similar home sales nearby that were both before and after the solar farm was announced as shown below. These homes are generally newer in construction and include a number of larger homes but show a very similar price point per square foot.

Nearby Sales Before Solar Farm Announced

TAX ID	Owner	Date Sold	Sales Price	Acres	Built	GBA	\$/GBA	Style	Parking
099B A 019	Durrance	Sep-12	\$165,000	1.00	2012	2,079	\$79.37	1 Story	2 Garage
099B A 021	Berryman	Apr-12	\$212,000	2.73	2007	2,045	\$103.67	1 Story	2 Garage
090O A 060	Nichols	Feb-13	\$165,000	1.03	2012	1,966	\$83.93	1 Story	2 Garage
	Average		\$180,667	1.59	2010	2,030	\$88.99		
	Median		\$165,000	1.03	2012	2,045	\$83.93		

Nearby Sales After Solar Farm Announced

TAX ID	Owner	Date Sold	Sales Price	Acres	Built	GBA	\$/GBA	Style	Parking
090N A 040	Carrithers	Mar-15	\$120,000	1.00	2010	1,626	\$73.80	1 Story	2 Garage
099C A 043	Cherry	Feb-15	\$148,900	2.34	2008	1,585	\$93.94	1 Story	2 Garage
	Average		\$134,450	1.67	2009	1,606	\$83.87		
	Median		\$134,450	1.67	2009	1,606	\$83.87		

I then adjusted these nearby sales using the same criteria as the adjoining sales to derive the following breakdown of adjusted values based on a 2011 year built 1,586 square foot home. The adjusted values are consistent with a median rate of \$128,665, which is actually lower than the values for the homes that back up to the solar farm.

Nearby Sales Adjusted				Adjustments*					
TAX ID	Owner	Date Sold	Sales Price	Acres	Built	GBA	Style	Parking	Total
099B A 019	Durrance	Sep-12	\$165,000	\$0	-\$825	-\$39,127	\$0	\$0	\$125,048
099B A 021	Berryman	Apr-12	\$212,000	-\$7,500	\$4,240	-\$47,583	\$0	\$0	\$161,157
090O A 060	Nichols	Feb-13	\$165,000	\$0	-\$825	-\$31,892	\$0	\$0	\$132,283
090N A 040	Carrithers	Mar-15	\$120,000	\$0	\$600	-\$2,952	\$0	\$0	\$117,648
099C A 043	Cherry	Feb-15	\$148,900	-\$7,500	\$2,234	\$94	\$0	\$0	\$143,727
	Average		\$165,500	-\$1,875	\$798	-\$30,389	\$0	\$0	\$134,034
	Median		\$165,000	\$0	-\$113	-\$35,510	\$0	\$0	\$128,665

* I adjusted all of the comparables to a base line 2011 Year Built and 1,586 s.f. based on Lot 12

If you consider just the 2015 nearby sales, the range is \$117,648 to \$143,727 with a median of \$130,688. If you consider the recent adjoining sales the range is \$123,501 to \$131,553 with a median of \$127,527.

This difference is less than 3% in the median and well below the standard deviation in the sales. The entire range of the adjoining sales prices is overlapped by the range from the nearby sales. These are consistent data sets and summarized below.

Matched Pair Summary

	Adjoins Solar Farm		Nearby After Solar Farm	
	Average	Median	Average	Median
Sales Price	\$134,975	\$130,000	\$134,450	\$134,450
Year Built	2005	2005	2009	2009
Size	1,619	1,591	1,606	1,606
Price/SF	\$83.72	\$84.00	\$83.87	\$83.87

Based on the data presented above, I find that the price per square foot for finished homes is not being impacted negatively by the announcement of the solar farm. The difference in pricing in homes in the neighborhood is accounted for by differences in size, building age, and lot size. The median price for a home after those factors are adjusted for are consistent throughout this subdivision and show no impact due to the proximity of the solar farm. This is consistent with the comments from the broker I spoke with for this subdivision as well.

I have also run a number of direct matched comparisons on the sales adjoining this solar farm as shown below. These direct matched pairs include some of those shown above as well as additional more recent sales in this community. In each of these I have compared the one sale adjoining the solar farm to multiple similar homes nearby that do not adjoin a solar farm to look for any potential impact from the solar farm.

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
3	Adjoins	491 Dusty	6.86	10/28/2016	\$176,000	2009	1,801	\$97.72	3/2	2-Gar	Ranch	
	Not	820 Lake Trail	1.00	6/8/2018	\$168,000	2013	1,869	\$89.89	4/2	2-Gar	Ranch	
	Not	262 Country	1.00	1/17/2018	\$145,000	2000	1,860	\$77.96	3/2	2-Gar	Ranch	
	Not	35 April	1.15	8/16/2016	\$185,000	2016	1,980	\$93.43	3/2	2-Gar	Ranch	

Adjoining Sales Adjusted												
Parcel	Solar	Address	Time	Site	YB	GLA	Park	Other	Total	% Diff	Distance	
3	Adjoins	491 Dusty							\$176,000		480	
	Not	820 Lake Trail	-\$8,324	\$12,000	-\$3,360	-\$4,890			\$163,426	7%		
	Not	262 Country	-\$5,450	\$12,000	\$6,525	-\$3,680			\$154,396	12%		
	Not	35 April	\$1,138	\$12,000	-\$6,475	-\$13,380			\$178,283	-1%		
									Average	6%		

The best matched pair is 35 April Loop, which required the least adjustment and indicates a -1% increase in value due to the solar farm adjacency.

Adjoining Residential Sales After Solar Farm Built

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
12	Adjoins	57 Cooper	1.20	2/26/2019	\$163,000	2011	1,586	\$102.77	3/2	2-Gar	1.5 Story	Pool
	Not	191 Amelia	1.00	8/3/2018	\$132,000	2005	1,534	\$86.05	3/2	Drive	Ranch	
	Not	75 April	0.85	3/17/2017	\$134,000	2012	1,588	\$84.38	3/2	2-Crprt	Ranch	
	Not	345 Woodland	1.15	12/29/2016	\$131,000	2002	1,410	\$92.91	3/2	1-Gar	Ranch	

Adjoining Sales Adjusted												
Parcel	Solar	Address	Sales Price	Time	Site	YB	GLA	Park	Other	Total	% Diff	Distance
12	Adjoins	57 Cooper	\$163,000							\$163,000		685
	Not	191 Amelia	\$132,000	\$2,303		\$3,960	\$2,685	\$10,000	\$5,000	\$155,947	4%	
	Not	75 April	\$134,000	\$8,029	\$4,000	-\$670	-\$135	\$5,000	\$5,000	\$155,224	5%	
	Not	345 Woodland	\$131,000	\$8,710		\$5,895	\$9,811		\$5,000	\$160,416	2%	
										Average	4%	

The best matched pair is 191 Amelia, which was most similar in time frame of sale and indicates a +4% increase in value due to the solar farm adjacency.

Adjoining Residential Sales After Solar Farm Built

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
15	Adjoins	297 Country	1.00	9/30/2016	\$150,000	2002	1,596	\$93.98	3/2	4-Gar	Ranch	
	Not	185 Dusty	1.85	8/17/2015	\$126,040	2009	1,463	\$86.15	3/2	2-Gar	Ranch	
	Not	53 Glen	1.13	3/9/2017	\$126,000	1999	1,475	\$85.42	3/2	2-Gar	Ranch	Brick

Adjoining Sales Adjusted												
Parcel	Solar	Address	Sales Price	Time	Site	YB	GLA	Park	Other	Total	% Diff	Distance
15	Adjoins	297 Country	\$150,000							\$150,000		650
	Not	185 Dusty	\$126,040	\$4,355		-\$4,411	\$9,167	\$10,000		\$145,150	3%	
	Not	53 Glen	\$126,000	-\$1,699		\$1,890	\$8,269	\$10,000		\$144,460	4%	
										Average	3%	

The best matched pair is 53 Glen, which was most similar in time frame of sale and required less adjustment. It indicates a +4% increase in value due to the solar farm adjacency.

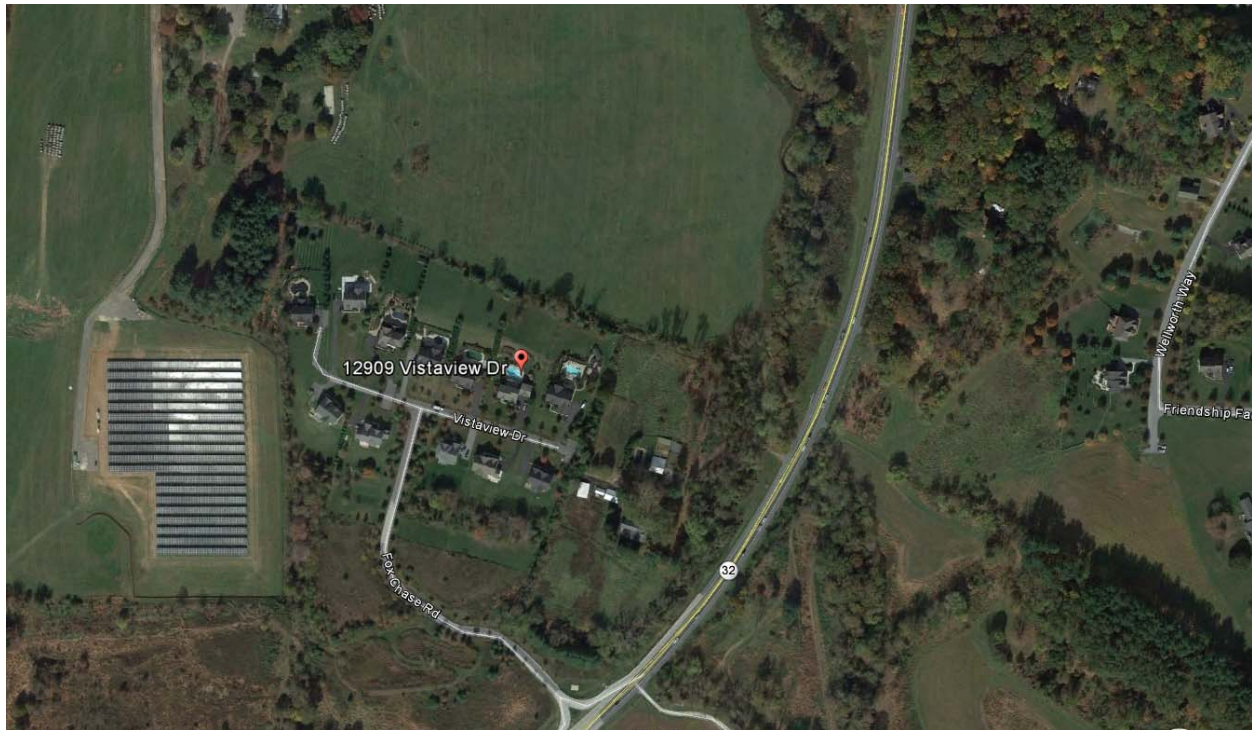
The average indicated impact from these three sets of matched pairs is +4%, which suggests a mild positive relationship due to adjacency to the solar farm.

I have also looked at several lot sales in this subdivision as shown below.

These are all lots within the same community and the highest prices paid are for lots one parcel off from the existing solar farm. These prices are fairly inconsistent, though they do suggest about a \$3,000 loss in the lots adjoining the solar farm. This is an atypical finding and additional details suggest there is more going on in these sales than the data crunching shows. First of all Parcel 4 was purchased by the owner of the adjoining home and therefore an atypical buyer seeking to expand a lot and the site is not being purchased for home development. Moreover, using the SiteToDoBusiness demographic tools, I found that the 1-mile radius around this development is expecting a total population increase over the next 5 years of 3 people. This lack of growing demand for lots is largely explained in that context. Furthermore, the fact that finished home sales as shown above are showing no sign of a negative impact on property value makes this data unreliable and inconsistent with the data shown in sales to an end user. I therefore place little weight on this outlier data.

Parcel	Solar	Address	Acres	Date Sold	Sales Price	4/18/2019	\$/AC	4/18/2019
						Adj for Time		Adj for Time
4	Adjoins	Shelter	2.05	10/25/2017	\$16,000	\$16,728	\$7,805	\$8,160
10	Adjoins	Carter	1.70	8/2/2018	\$14,000	\$14,306	\$8,235	\$8,415
11	Adjoins	Cooper	1.28	9/17/2018	\$12,000	\$12,215	\$9,375	\$9,543
	Not	75 Dusty	1.67	4/18/2019	\$20,000	\$20,000	\$11,976	\$11,976
	Not	Lake Trl	1.47	11/7/2018	\$13,000	\$13,177	\$8,844	\$8,964
	Not	Lake Trl	1.67	4/18/2019	\$20,000	\$20,000	\$11,976	\$11,976
		Adjoins	Per Acre	Not Adjoins	Per Acre	% DIF/Lot	% DIF/AC	
Average		\$14,416	\$8,706	\$17,726	\$10,972	19%	21%	
Median		\$14,306	\$8,415	\$20,000	\$11,976	28%	30%	
High		\$16,728	\$9,543	\$20,000	\$11,976	16%	20%	
Low		\$12,215	\$8,160	\$13,177	\$8,964	7%	9%	

5. Matched Pair – Nixon's Solar Farm, West Friendship, MD



This smaller 2 MW solar farm being developed in phases mostly adjoins agricultural and residential uses as shown above. This is part of what will eventually be a 10 MW facility.

I compared a recent sale of 12909 Vistaview Drive to 2713 Friendship Farm Court. While this does not look at an adjacent home sale, it is close proximity and based on the matched pair data in the report it shows a \$16,640 positive impact on value due to proximity to the solar farm, or 2.16%. This is within typical market friction and supports an indication of no impact on property value.

I have shown this data below.

Nixon's Farm Solar Farm, West Friendship, MD

Nearby Residential Sale After Solar Farm Construction

Address	Solar Farm	Acres	Date Sold	Sales Price*	Built	GBA	\$/GBA	Style	BR/BA	Park
12909 Vistaview	Nearby	0.92	9/12/2014	\$771,640	2003	2,692	\$286.64	Colonial	4/3.5	2 Car Det
2713 Friendship Farm	Not	0.98	6/20/2014	\$690,000	2000	2,792	\$247.13	Colonial	4/2.5	2 Car Att

*\$3,360 concession deducted from sale price for Vistaview

Adjoining Sales Adjusted

Address	Date Sold	Sales Price	Adjustments				Total
			Time	Acres	YB	BR/BA	Other
12909 Vistaview	9/12/2014	\$771,640					\$771,640
2713 Friendship Farm	6/20/2014	\$690,000		\$0	\$0	\$0	\$755,000

Difference Attributable to Location

\$16,640
2.16%

6. Matched Pair – Leonard Road Solar Farm, Hughesville, MD



This solar farm mostly adjoins agricultural and residential uses to the west, south and east as shown above. The property also adjoins retail uses and a church. I looked at a 2016 sale of an adjoining home with a positive impact on value adjoining the solar farm of 2.90%. This is within typical market friction and supports an indication of no impact on property value.

I have shown this data below.

Leonardtown Road Solar Farm, Hughesville, MD

Nearby Residential Sale After Solar Farm Construction

Address	Solar Farm	Acres	Date Sold	Sales Price*	Built	GBA	\$/GBA	Style	BR/BA	Bsmt	Park	Upgrades	Other
14595 Box Elder Ct	Adjoins	3.00	2/12/2016	\$291,000	1991	2,174	\$133.85	Colonial	5/2.5	No	2 Car Att	N/A	Deck
15313 Bassford Rd	Not	3.32	7/20/2016	\$329,800	1990	2,520	\$130.87	Colonial	3/2.5	Finished	2 Car Att	Custom	Scr Por/Patio

*\$9,000 concession deducted from sale price for Box Elder and \$10,200 deducted from Bassford

Adjoining Sales Adjusted

Address	Date Sold	Sales Price	Time	GLA	Bsmt	Upgrades	Other	Total
14595 Box Elder Ct	2/12/2016	\$291,000						\$291,000
15313 Bassford Rd	7/20/2016	\$329,800	-\$3,400	-\$13,840	-\$10,000	-\$15,000	-\$5,000	\$282,560

Difference Attributable to Location \$8,440
2.90%

This is within typical market friction and supports an indication of no impact on property value.



I have shown this data below.

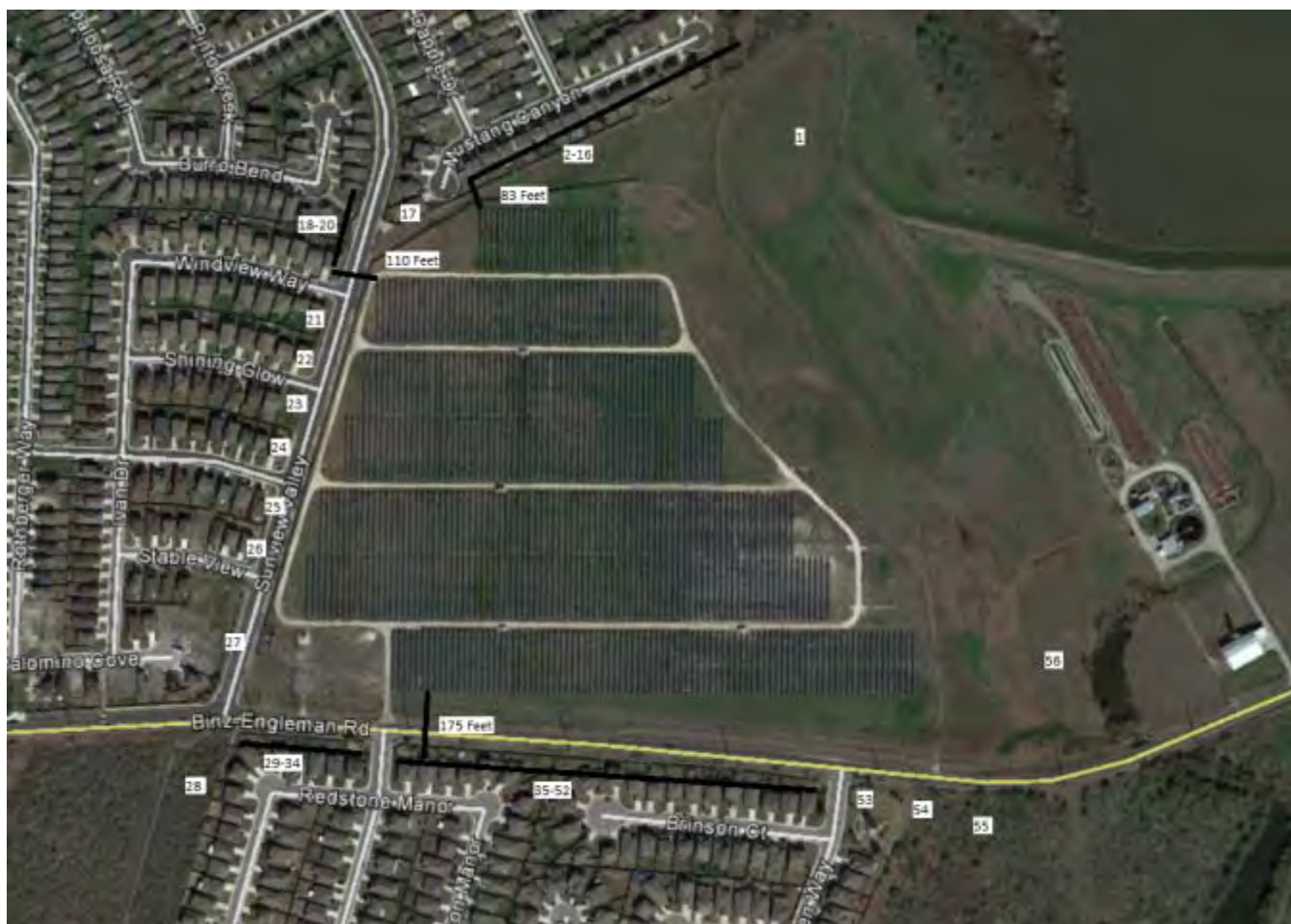
Nearby Residential Sale After Solar Farm Construction

Address	Solar Farm	Acres	Date Sold	Sales Price*	Built	GBA	\$/GBA	Style	BR/BA	Park	Upgrades
10193 Hiners	Nearby	1.06	10/31/2012	\$136,092	1947	776	\$175.38	Bungalow	2/1	3 Car Det	N/A
10711 Hiners	Not	0.60	12/15/2012	\$135,000	1957	832	\$162.26	Bungalow	2/1	1 Car Det	Upd. Bath

*\$5,908 concessions deducted from 10193 Hiners sales price

Address	Date Sold	Sales Price	Age	Adjustments				Total
				Acres	Park	Upgrades	Other	
10193 Hiners	10/31/2012	\$136,092						\$136,092
10711 Hiners	12/15/2012	\$135,000	-\$6,750	\$4,000	\$6,000	-\$3,000	\$0	\$135,250
Difference Attributable to Location								\$842

8. Matched Pair – Alamo II, San Antonio, Texas



This project is located at 8203 Binz-Engleman Road, Converse, Texas, on 98.37 acres with a 4.4 MW output. This project is located with small lot residential development on to the north west and south. There appears to be minimal landscaping along this project. The closest home to the north is 83 feet from the solar panels, while the homes to the west are 110 feet and the homes to the south are 175 feet away from the solar panels.

This solar farm strongly shows an acceptance of nearby residential development in close proximity to solar farms as this solar farm has minimal landscaping, close proximity, small adjoining lot sizes, and the development of homes on three sides of the solar farm.

Adjoining Use Breakdown

Acreage	Parcels
Residential	94.64%
Agricultural	5.36%
Total	100.00%

I have considered home sales in the three adjoining subdivisions to look at matched pair data. There are sales and resales of homes in Glenloch and Mustang Valley subdivisions to the south and west of this solar farm.

I have considered multiple matched pairs from these subdivisions to show typical appreciation and no impact on property value both before and after the solar farm was constructed in 2013. I have

looked at a number of home sales and resales in the larger subdivisions, but I have focused on those directly adjoining/facing the solar farm in the examples shown below. These are sales and resales of the homes adjoining the solar farm both before and after the solar farm project in 2013.

The comparables shown below are compared to an earlier sale prior to the solar farm announcement or construction followed by a second sale after the solar farm. The first two have solar farms in the Backyard (B), while the other has the solar farm in the Side yard (S). All of these sales show appreciation that falls within the typical annual appreciation for homes in this area over this time period.

7703 Redstone Mnr (B)			7807 Redstone Mnr (B)			7734 Sundew Mist (S)		
	<u>Date</u>	<u>Price</u>		<u>Date</u>	<u>Price</u>		<u>Date</u>	<u>Price</u>
Sale	10/3/2012	\$149,980	Sale	5/11/2012	\$136,266	Sale	5/23/2012	\$117,140
Sale	3/24/2016	\$166,000	Sale	8/11/2014	\$147,000	Sale	11/18/2014	\$134,000
	<u>Time - YRS</u>	<u>% Incr.</u>		<u>Time - YRS</u>	<u>% Incr.</u>		<u>Time - YRS</u>	<u>% Incr.</u>
	3.47	10.7%		2.25	7.9%		2.49	14.4%
	<u>Per Year</u>	<u>3.1%</u>		<u>Per Year</u>	<u>3.5%</u>		<u>Per Year</u>	<u>5.8%</u>
Years	3.5	<u>10.8%</u>	Years	2.5	<u>8.7%</u>	Years	2	<u>11.6%</u>

I therefore conclude that this set of matched pairs shows no impact on property value and that homes in the area are showing typical appreciation consistent with other homes not in the vicinity of solar farms.

9. Matched Pair – Neal Hawkins Solar, Gastonia, NC



This project is located on the south side of Neal Hawkins Road just outside of Gastonia. The property identified above as Parcel 4 was listed for sale while this solar farm project was going through the approval process. The property was put under contract during the permitting process with the permit being approved while the due diligence period was still ongoing. After the permit was approved the property closed with no concerns from the buyer. I spoke with Jennifer Bouvier, the broker listing the property and she indicated that the solar farm had no impact at all on the sales price. She considered some nearby sales to set the price and the closing price was very similar to the asking price within the typical range for the market. The buyer was aware that the solar farm was coming and they had no concerns.

This two-story brick dwelling was sold on March 20, 2017 for \$270,000 for a 3,437 square foot dwelling built in 1934 in average condition on 1.42 acres. The property has four bedrooms and two bathrooms.

10. Matched Pair – Summit/Ranchlands Solar, Moyock, NC



This project is located at 1374 Caritoke Highway, Moyock, NC. This is an 80 MW facility on a parent tract of 2,034 acres. Parcels Number 48 and 53 as shown in the map above were sold in 2016. The project was under construction during the time period of the first of the matched pair sales and the permit was approved well prior to that in 2015.

I looked at multiple sales of adjoining and nearby homes and compared each to multiple comparables to show a range of impacts from -10% up to +11% with an average of +2% and a median of +3%. These ranges are well within typical real estate variation and supports an indication of no impact on property value.

Adjoining Residential Sales After Solar Farm Approved													
Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
48	Adjoins	129 Pinto	4.29	4/15/2016	\$170,000	1985	1,559	\$109.04	3/2	Drive	MFG		1,060
	Not	102 Timber	1.30	4/1/2016	\$175,500	2009	1,352	\$129.81	3/2	Drive	MFG		
	Not	120 Ranchland	0.99	10/1/2014	\$170,000	2002	1,501	\$113.26	3/2	Drive	MFG		
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	
	Adjoins	129 Pinto								\$170,000		-3%	
	Not	102 Timber	\$276	\$10,000	-\$29,484	\$18,809				\$175,101	-3%		
	Not	120 Ranchland	\$10,735	\$10,000	-\$20,230	\$4,598				\$175,103	-3%		

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
53	Adjoins	105 Pinto	4.99	12/16/2016	\$206,000	1978	1,484	\$138.81	3/2	Det Gar	Ranch		2,020
	Not	111 Spur	1.15	2/1/2016	\$193,000	1985	2,013	\$95.88	4/2	Gar	Ranch		
	Not	103 Marshall	1.07	3/29/2017	\$196,000	2003	1,620	\$120.99	3/2	Drive	Ranch		
	Not	127 Ranchland	0.99	6/9/2015	\$219,900	1988	1,910	\$115.13	3/2	Gar/3Gar	Ranch		
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	
	Adjoins	105 Pinto								\$206,000		11%	
	Not	111 Spur	\$6,918	\$10,000	-\$6,755	-\$25,359				\$177,803	14%		
	Not	103 Marshall	-\$2,268	\$10,000	-\$24,500	-\$8,227		\$5,000		\$176,005	15%		
	Not	127 Ranchland	\$13,738	\$10,000	-\$10,995	-\$24,523		-\$10,000		\$198,120	4%		

Adjoining Residential Sales After Solar Farm Built

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
15	Adjoins	318 Green View	0.44	9/15/2019	\$357,000	2005	3,460	\$103.18	4/4	2-Car	1.5 Brick		570
	Not	195 St Andrews	0.55	6/17/2018	\$314,000	2002	3,561	\$88.18	5/3	2-Car	2.0 Brick		
	Not	336 Green View	0.64	1/13/2019	\$365,000	2006	3,790	\$96.31	6/4	3-Car	2.0 Brick		
	Not	275 Green View	0.36	8/15/2019	\$312,000	2003	3,100	\$100.65	5/3	2-Car	2.0 Brick		
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	
	Adjoins	318 Green View								\$357,000		4%	
	Not	195 St Andrews	\$12,040		\$4,710	-\$7,125	\$10,000			\$333,625	7%		
	Not	336 Green View	\$7,536		-\$1,825	-\$25,425			-\$5,000	\$340,286	5%		
	Not	275 Green View	\$815		\$3,120	\$28,986	\$10,000			\$354,921	1%		

Adjoining Residential Sales After Solar Farm Built

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
29	Adjoins	164 Ranchland	1.01	4/30/2019	\$169,000	1999	2,052	\$82.36	4/2	Gar	MFG		440
	Not	150 Pinto	0.94	3/27/2018	\$168,000	2017	1,920	\$87.50	4/2	Drive	MFG		
	Not	105 Longhorn	1.90	10/10/2017	\$184,500	2002	1,944	\$94.91	3/2	Drive	MFG		
	Not	112 Pinto	1.00	7/27/2018	\$180,000	2002	1,836	\$98.04	3/2	Drive	MFG	Fenced	
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	
	Adjoins	164 Ranchland								\$169,000		-10%	
	Not	150 Pinto	\$5,649		-\$21,168	\$8,085			\$5,000	\$165,566	2%		
	Not	105 Longhorn	\$8,816	-\$10,000	-\$3,875	\$7,175			\$5,000	\$191,616	-13%		
	Not	112 Pinto	\$4,202		-\$3,780	\$14,824			\$5,000	\$200,245	-18%		

Adjoining Residential Sales After Solar Farm Built

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
	Adjoins	358 Oxford	10.03	9/16/2019	\$478,000	2008	2,726	\$175.35	3/3	2 Gar	Ranch		635
	Not	276 Summit	10.01	12/20/2017	\$355,000	2006	1,985	\$178.84	3/2	2 Gar	Ranch		
	Not	176 Providence	6.19	5/6/2019	\$425,000	1990	2,549	\$166.73	3/3	4 Gar	Ranch	Brick	
	Not	1601 B Caratoke	12.20	9/26/2019	\$440,000	2016	3,100	\$141.94	4/3.5	5 Gar	Ranch	Pool	
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	
	Adjoins	358 Oxford								\$478,000		5%	
	Not	276 Summit	\$18,996		\$3,550	\$106,017	\$10,000			\$493,564	-3%		
	Not	176 Providence	\$4,763		\$38,250	\$23,609		-\$10,000	-\$25,000	\$456,623	4%		
	Not	1601 B Caratoke	-\$371	\$50,000	-\$17,600	-\$42,467	-\$5,000	-\$10,000		\$414,562	13%		

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
	Nearby	343 Oxford	10.01	3/9/2017	\$490,000	2016	3,753	\$130.56	3/3	2 Gar	1.5 Story	Pool	970
	Not	287 Oxford	10.01	9/4/2017	\$600,000	2013	4,341	\$138.22	5/4.5	8-Gar	1.5 Story	Pool	
	Not	301 Oxford	10.00	4/23/2018	\$434,000	2013	3,393	\$127.91	5/3	2 Gar	1.5 Story		
	Not	218 Oxford	10.01	4/4/2017	\$525,000	2006	4,215	\$124.56	4/3	4 Gar	1.5 Story	VG Barn	
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	
	Adjoins	343 Oxford								\$490,000		3%	
	Not	287 Oxford	-\$9,051		\$9,000	-\$65,017	-\$15,000	-\$25,000		\$494,932	-1%		
	Not	301 Oxford	-\$14,995	-\$10,000	\$6,510	\$36,838				\$452,353	8%		
	Not	218 Oxford	-\$1,150		\$26,250	-\$46,036		-\$10,000	-\$10,000	\$484,064	1%		

11. Matched Pair – White Cross II, Chapel Hill, NC



This project is located in rural Orange County on White Cross Road with a 2.8 MW facility. This project is a few parcels south of White Cross Solar Farm that was developed by a different company. An adjoining home sold after construction as presented below.

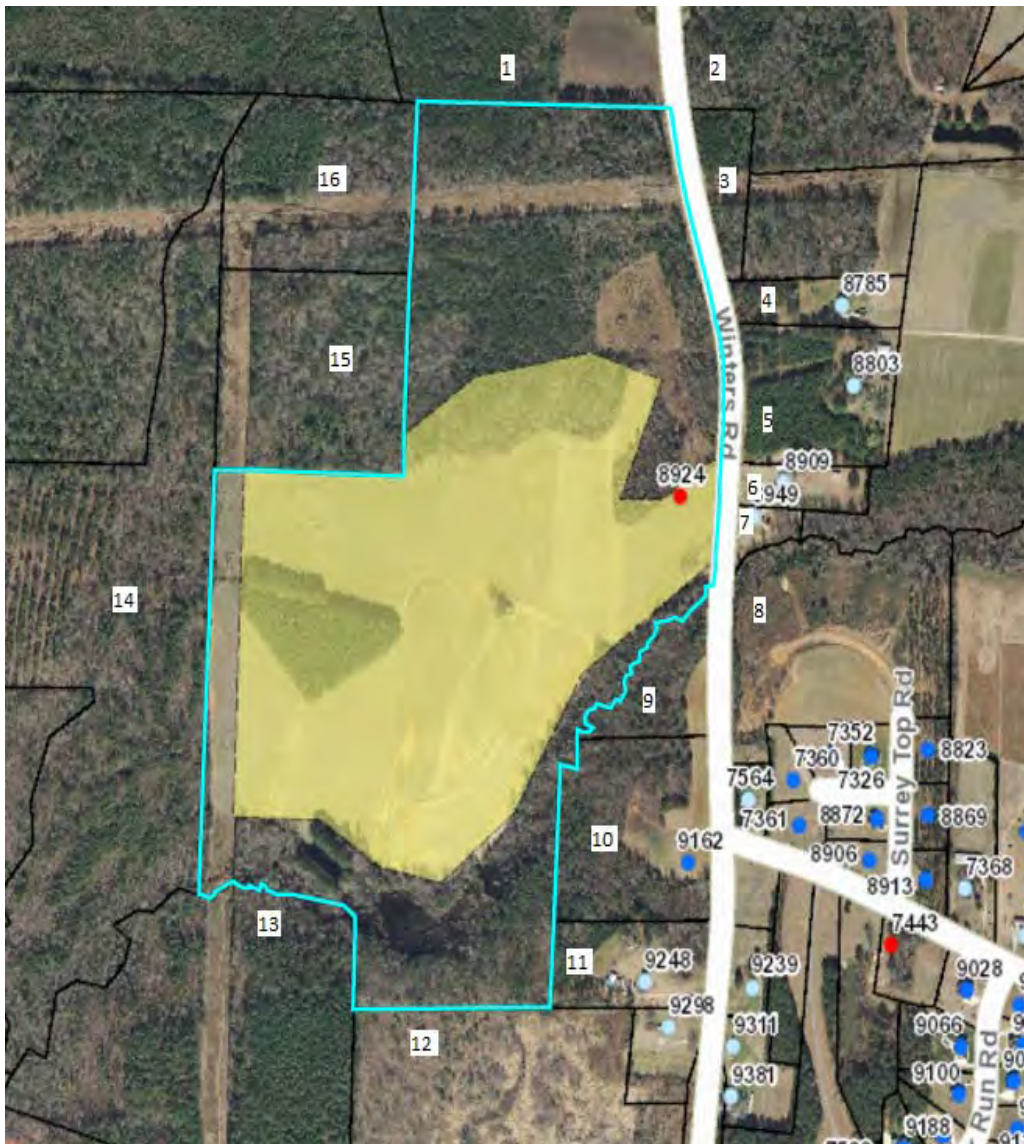
Adjoining Residential Sales After Solar Farm Completed

Solar	TAX ID/Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style
Adjoins	97482114578	11.78	2/29/2016	\$340,000	1994	1,601	\$212.37	3/3	Garage	Ranch
Not	4200B Old Greensbor	12.64	12/28/2015	\$380,000	2000	2,075	\$183.13	3/2.5	Garage	Ranch

Adjoining Residential Sales After Solar Farm Adjoining Sales Adjusted

Solar	TAX ID/Address	Sales Price	Time	Acres	YB	GLA	BR/BA	Park	Total	% Diff
Adjoins	97482114578	\$340,000							\$340,000	
Not	4200B Old Greensbor	\$380,000	\$3,800	\$0	-\$15,960	-\$43,402	\$5,000	\$0	\$329,438	3%

12. Matched Pair – Tracy Solar, Bailey, NC



This project is located in rural Nash County on Winters Road with a 5 MW facility that was built in 2016. A local builder acquired parcels 9 and 10 following construction as shown below at rates comparable to other tracts in the area. They then built a custom home for an owner and sold that at a price similar to other nearby homes as shown in the matched pair data below.

Adjoining Land Sales After Solar Farm Completed

#	Solar Farm	TAX ID	Grantor	Grantee	Address	Acres	Date Sold	Sales Price	\$/AC	Other
9 & 10	Adjoins	316003 & 316004	Cozart	Kingsmill	9162 Winters	13.22	7/21/2016	\$70,000	\$5,295	
	Not	6056	Billingsly		427 Young	41	10/21/2016	\$164,000	\$4,000	
	Not	33211	Fulcher	Weikel	10533 Cone	23.46	7/18/2017	\$137,000	\$5,840	Doublewide, structures
	Not	106807	Perry	Gardner	Claude Lewis	11.22	8/10/2017	\$79,000	\$7,041	Gravel drive for sub, cleared
	Not	3437	Vaughan	N/A	11354 Old Lewis Sch	18.73	Listing	\$79,900	\$4,266	Small cemetery, wooded

Adjoining Sales Adjusted

Time	Acres	Location	Other	Adj \$/Ac	% Diff
				\$5,295	
\$0	\$400	\$0	\$0	\$4,400	17%
-\$292	\$292	\$0	-\$500	\$5,340	-1%
-\$352	\$0	\$0	-\$1,000	\$5,689	-7%
-\$213	\$0	\$0	\$213	\$4,266	19%
Average					7%

Adjoining Residential Sales After Solar Farm Completed

#	Solar Farm	n	Address	Acres	Date Sold	Sales Price	Built	GLA	\$/GLA	BR/BA	Style	Other
9 & 10	Adjoins	9	9162 Winters	13.22	1/5/2017	\$255,000	2016	1,616	\$157.80	3/2	Ranch	1296 sf wrkshp
	Not	10	7352 Red Fox	0.93	6/30/2016	\$176,000	2010	1,529	\$115.11	3/2	2-story	

Adjoining Sales Adjusted

Time	Acres	YB	GLA	Style	Other	Total	% Diff
						\$255,000	
\$0	\$44,000	\$7,392	\$5,007	\$5,000	\$15,000	\$252,399	1%

The comparables for the land show either a significant positive relationship or a mild negative relationship to having and adjoining solar farm, but when averaged together they show no negative impact. The wild divergence is due to the difficulty in comping out this tract of land and the wide variety of comparables used. The two comparables that show mild negative influences include a property that was partly developed as a residential subdivision and the other included a doublewide with some value and accessory agricultural structures. The tax assessed value on the improvements were valued at \$60,000. So both of those comparables have some limitations for comparison. The two that show significant enhancement due to adjacency includes a property with a cemetery located in the middle and the other is a tract almost twice as large. Still that larger tract after adjustment provides the best matched pair as it required the least adjustment. I therefore conclude that there is no negative impact due to adjacency to the solar farm shown by this matched pair.

The dwelling that was built on the site was a build-to-suit and was compared to a nearby homesale of a property on a smaller parcel of land. I adjusted for that differenced based on a \$25,000 value for a 1-acre home site versus the \$70,000 purchase price of the larger subject tract. The other adjustments are typical and show no impact due to the adjacency to the solar farm.

The closest solar panel to the home is 780 feet away.

I note that the representative for Kingsmill Homes indicated that the solar farm was never a concern in purchasing the land or selling the home. He also indicated that they had built a number of nearby homes across the street and it had never come up as an issue.

13. Matched Pair – Manatee Solar Farm, Parrish, FL



This solar farm is located near Seminole Trail, Parrish, FL. The solar farm has a 74.50 MW output and is located on a 1,180.38 acre tract and was built in 2016. The tract is owned by Florida Power & Light Company.

I have considered the recent sale of 13670 Highland Road, Wimauma, Florida. This one-story, block home is located just north of the solar farm and separated from the solar farm by a railroad corridor. This home is a 3 BR, 3 BA 1,512 s.f. home with a carport and workshop. The property includes new custom cabinets, granite counter tops, brand new stainless steel appliances, updated bathrooms and new carpet in the bedrooms. The home is sitting on 5 acres. The home was built in 1997.

I have compared this sale to several nearby homesales as part of this matched pair analysis as shown below.

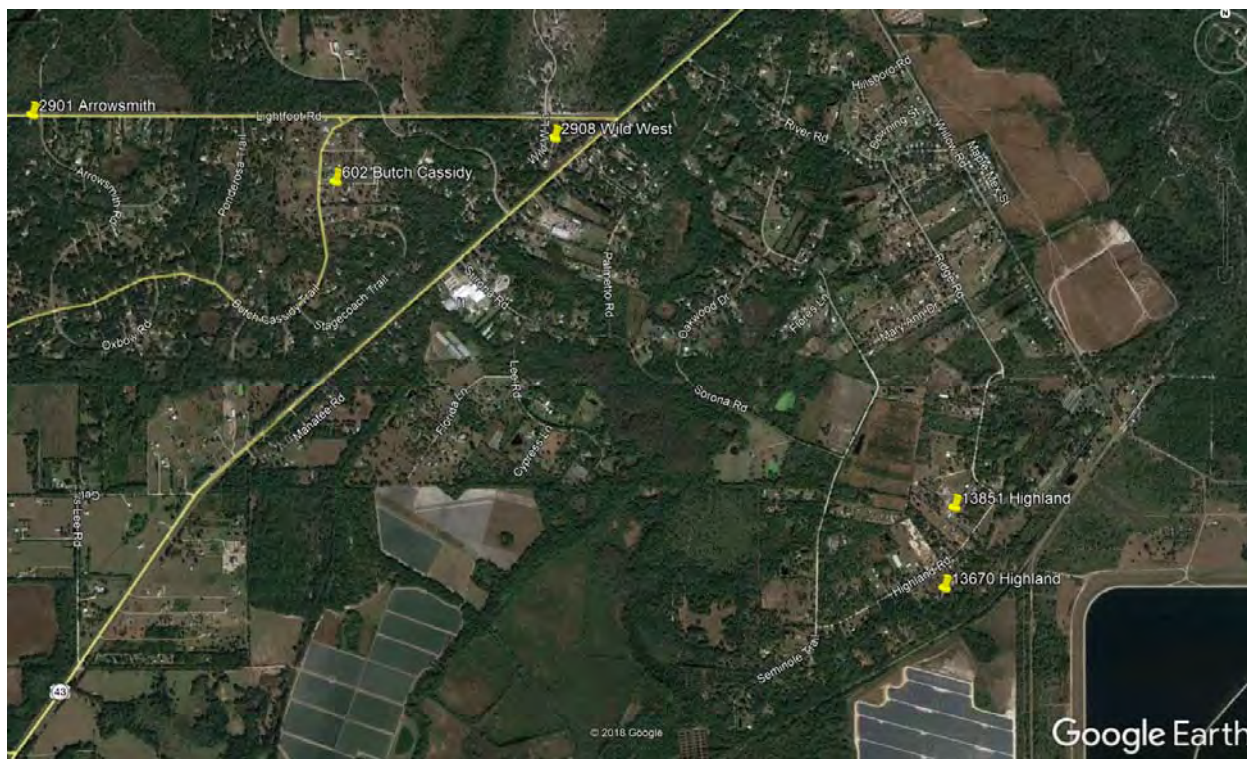
Solar	TAX ID/Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Note
Adjoins	13670 Highland	5.00	8/21/2017	\$255,000	1997	1,512	\$168.65	3/3	Carport/Wrkshp	Ranch	Renov.
Not	2901 Arrowsmith	1.91	1/31/2018	\$225,000	1979	1,636	\$137.53	3/2	2 Garage/Wrkshp	Ranch	
Not	602 Butch Cassidy	1.00	5/5/2017	\$220,000	2001	1,560	\$141.03	3/2	N/A	Ranch	Renov.
Not	2908 Wild West	1.23	7/12/2017	\$254,000	2003	1,554	\$163.45	3/2	2 Garage/Wrkshp	Ranch	Renov.
Not	13851 Highland	5.00	9/13/2017	\$240,000	1978	1,636	\$146.70	4/2	3 Garage	Ranch	Renov.

Solar	TAX ID/Address	Adjoining Sales Adjusted				GLA	BR/BA	Park	Note	Total	% Diff
		Time	Acres	YB							
Adjoins	13670 Highland									\$255,000	
Not	2901 Arrowsmith	\$2,250	\$10,000	\$28,350	-\$8,527	\$5,000	-\$10,000	\$10,000	\$262,073	-3%	
Not	602 Butch Cassidy	-\$2,200	\$10,000	-\$6,160	-\$3,385	\$5,000	\$2,000		\$225,255	12%	
Not	2908 Wild West	\$0	\$10,000	-\$10,668	-\$3,432	\$5,000	-\$10,000		\$244,900	4%	
Not	13851 Highland	\$0	\$0	\$31,920	-\$9,095	\$3,000	-\$10,000		\$255,825	0%	
Average											3%

The sales prices of the comparables before adjustments range from \$220,000 to \$254,000. After adjustments they range from \$225,255 to \$262,073. The comparables range from no impact to a strong positive impact. The comparables showing -3% and +4% impact on value are considered within a typical range of value and therefore not indicative of any impact on property value.

This set of matched pair data falls in line with the data seen in other states. The closest solar panel to the home at 13670 Highland is 1,180 feet. There is a wooded buffer between these two properties.

I have included a map showing the relative location of these properties below.



14. Matched Pair – McBride Place Solar Farm, Midland, NC



This project is located on Mount Pleasant Road, Midland, North Carolina. The property is on 627 acres on an assemblage of 974.59 acres. The solar farm was approved in early 2017 for a 74.9 MW facility.

I have considered the sale of 4380 Joyner Road which adjoins the proposed solar farm near the northwest section. This property was appraised in April of 2017 for a value of \$317,000 with no consideration of any impact due to the solar farm in that figure. The property sold in November 2018 for \$325,000 with the buyer fully aware of the proposed solar farm.

I have considered the following matched pairs to the subject property.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
Adjoins	4380 Joyner	12.00	11/22/2017	\$325,000	1979	1,598	\$203.38	3/2	2xGar	Ranch	Outbldg
Not	3870 Elkwood	5.50	8/24/2016	\$250,000	1986	1,551	\$161.19	3/2.5	Det 2xGar	Craft	
Not	8121 Lower Rocky	18.00	2/8/2017	\$355,000	1977	1,274	\$278.65	2/2	2xCarp	Ranch	Eq. Fac.
Not	13531 Cabarrus	7.89	5/20/2016	\$267,750	1981	2,300	\$116.41	3/2	2xGar	Ranch	

Adjoining Sales Adjusted

Time	Acres	YB	Condition	GLA	BR/BA	Park	Other	Total	% Diff
								\$325,000	
\$7,500	\$52,000	-\$12,250	\$10,000	\$2,273	-\$2,000	\$2,500	\$7,500	\$317,523	2%
\$7,100	-\$48,000	\$4,970		\$23,156	\$0	\$3,000	-\$15,000	\$330,226	-2%
\$8,033	\$33,000	-\$3,749	\$20,000	-\$35,832	\$0	\$0	\$7,500	\$296,702	9%
Average									3%

After adjusting the comparables, I found that the average adjusted value shows a slight increase in value for the subject property adjoining a solar farm. As in the other cases, this is a mild positive and within the typical range of real estate transactions. I therefore conclude that these matched pairs show no impact on value.

I note that the home at 4380 Joyner Road is 275 feet from the closest proposed solar panel.

I also considered the recent sale of a lot on Kristi Lane that is on the east side of the proposed solar farm. This 4.22-acre lot sold in December 2017 for \$94,000. I spoke with the broker, Margaret Dabbs, who indicated that the solar farm was considered a positive by both buyer and seller as it insures no subdivision will be happening in that area. Buyers in this market are looking for privacy and seclusion. The other lots on Kristi Lane are likely to sale soon at similar prices. Ms. Dabbs indicated that they have had these lots on the market for about 5 years at asking prices that were probably a little high and they are now selling and they have another under contract.

15. Matched Pair – Yamhill II, Amity, OR



This solar farm has a 1.2 MW output and is located on a 186.60 acre tract using less than 10 of those acres. The project was built in 2011.

I have considered the recent sale of Parcel 11 shown above, which sold on July 22, 2015 after the solar farm was built. The property sold for \$326,456 for a 2.12 acre site with a home built in 1912 with 2,154 s.f. and 4 BR and 2 BA. It was noted as a recently remodeled residence with outbuildings that sold for \$151.56 per square foot. I compared this to a number of similar older residences on similar acreage as shown below.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acre	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Adjust for Time	Adjusted Sales	Adjusted \$/SF
Adjoins	12001 SW Bellevue, Amity	2.12	7/22/2015	\$326,456	1912	2,154	\$151.56	4/2			
Not	19915 SW Muddy, McMinnville	1.82	2/28/2011	\$213,400	1910	1,798	\$118.69	3/2	27%	\$271,018	\$150.73
Not	22600 Hopewell, Salem	1.00	10/15/2014	\$256,000	1910	1,966	\$130.21	3/2	5%	\$268,800	\$136.72
Not	22355 Hopewell, Salem	1.00	11/13/2015	\$320,000	1930	2,592	\$123.46	3/2	-2%	\$313,600	\$120.99
Not	9955 Bethel, Amity	2.86	2/17/2016	\$289,900	1936	2,028	\$142.95	3/2	-4%	\$278,304	\$137.23
Not	3361 Lone Oak, McMinnville	2.91	3/1/2016	\$465,000	1937	2,950	\$157.63	3/2	-7%	\$432,450	\$146.59
										Average	\$138.45
										Median	\$137.23

The sales prices of the comparables were only adjusted for time and provide a range of adjusted values of \$120.99 per square foot to \$150.73 per square foot. The subject property sold for above the high end of this range despite being on the older end of the range of comparables. Considering 9955 Bethel as the most similar in acreage, age and size and the price per square foot which adjusted to the median rate at \$137.23 per square foot. Applying that rate to the subject property square footage, the indicated value is \$295,593 for that matched pair, suggesting a 9% enhancement due to the adjacency to the solar farm.

This set of matched pair data falls in line with the data seen in other states. The home is 700 feet from the closest solar panel.

16. Matched Pair – Marion Solar, Aurora, OR



This solar farm has a 0.3 MW output and is located on a 2-acre portion of a 31.76-acre tract. The project was built in 2014.

I have considered the recent sale of Parcels 5 and 6 shown above, which sold on August 6, 2014 after the solar farm was built for \$259,000, or \$16,444 per acre for a combined 15.75 acres. This was sold as vacant agricultural land with a permitted home site.

I compared this to a number of similar land sales as shown below.

Adjoining Residential Land Sales After Solar Farm Approved								Adj for	Adjusted	Adjusted
Solar	Address	Acres	Date Sold	Sales Price	\$/Ac	Soils	Homesite	Time	Sales	\$/SF
Adjoins	18916 Butteville, Aurora	15.75	8/6/2014	\$259,000	\$16,444	2&3	Est.			
Not	15961 Wilsonville, Wilsonville	50.50	5/20/2014	\$950,000	\$18,812	2&3	Est.	1.5%	\$964,250	\$19,094
Not	11471 Wilco, Mt. Angel	13.31	11/10/2014	\$159,500	\$11,983	2&4	N/A	-1.5%	\$157,108	\$11,804
Not	Waconda, Salem	11.86	9/9/2015	\$215,000	\$18,128	2	N/A	-6.5%	\$201,025	\$16,950
									Average	\$15,949
									Median	\$16,950

The sales price for the subject property is in line and between the average and median rates from the comparables. The sale at 11471 Wilco is the most similar in terms of acreage, time, and location. The sale on Waconda is similar in size, but newer and required more adjustment. I therefore conclude that no impact due to the proximity of the solar farm.

17. Matched Pair – Clackamas II, Aurora, OR



This solar farm has a 0.22 MW output and is located on a 1-acre portion of a 156.32-acre tract. The project was built in 2014.

I have considered the homesales along SW Fairway Drive both before and after the solar farm was announced to see if there was any impact on total sales price or price per square foot. As can be seen in the chart below, the sales prices continued to trend upward after the announcement and the price per square foot continued to trend upward. These homes are all approximately 125 feet from the closest solar panel.

I adjusted these based on 0.75% per month difference in date of sale to January 1, 2014. The indicated average and median rate are right in line with the sales before and after the solar farm was built. These comparables strongly indicate no impact in sales price.

Adjoining Residential Sales Before and After Solar Farm Announced								Adjust	Adjusted	Adjusted
Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	Time	Sales	\$/SF
Prior	7500 SW Fairway	0.20	12/9/2011	\$365,000	1992	2,435	\$149.90	18.8%	\$433,620	\$178.08
Prior	7580 SW Fairway	0.30	11/21/2012	\$335,000	1990	2,256	\$148.49	11%	\$370,175	\$164.08
Prior	7480 SW Fairway	0.19	6/27/2013	\$365,000	1992	2,244	\$162.66	5%	\$384,345	\$171.28
							\$153.68	Average		\$171.15
							\$149.90	Median		\$171.28
After	7620 SW Fairway	0.27	7/1/2013	\$365,000	1992	2,212	\$165.01	3.8%	\$378,870	\$171.28
After	7700 SW Fairway	0.18	6/11/2014	\$377,100	1991	2,328	\$161.98	-2%	\$371,444	\$159.55
After	7380 SW Fairway	0.19	7/18/2014	\$415,000	1989	2,115	\$196.22	-6%	\$390,100	\$184.44
							\$174.40	Average		\$171.76
							\$165.01	Median		\$171.28

18. Matched Pair – Grand Ridge Solar, Streator, IL



This solar farm has a 20 MW output and is located on a 160-acre tract. The project was built in 2012.

I have considered the recent sale of Parcel 13 shown above, which sold in October 2016 after the solar farm was built. I have compared that sale to a number of nearby residential sales not in proximity to the solar farm as shown below. Parcel 13 is 480 feet from the closest solar panel.

Adjoining Residential Sales After Solar Farm Completed

#	TAX ID	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA
13	34-21-237-000	2	Oct-16	\$186,000	1997	2,328	\$79.90

Not Adjoining Residential Sales After Solar Farm Completed

#	TAX ID	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA
712 Columbus Rd	32-39-134-005	1.26	Jun-16	\$166,000	1950	2,100	\$79.05
504 N 2782 Rd	18-13-115-000	2.68	Oct-12	\$154,000	1980	2,800	\$55.00
7720 S Dwight Rd	11-09-300-004	1.14	Nov-16	\$191,000	1919	2,772	\$68.90
701 N 2050th Rd	26-20-105-000	1.97	Aug-13	\$200,000	2000	2,200	\$90.91
9955 E 1600th St	04-13-200-007	1.98	May-13	\$181,858	1991	2,600	\$69.95

TAX ID	Date Sold	Adjustments		
		Time	Total	\$/Sf
34-21-237-000	Oct-16		\$186,000	\$79.90
32-39-134-005	Jun-16		\$166,000	\$79.05
18-13-115-000	Oct-12	\$12,320	\$166,320	\$59.40
11-09-300-004	Nov-16		\$191,000	\$68.90
26-20-105-000	Aug-13	\$12,000	\$212,000	\$96.36
04-13-200-007	May-13	\$10,911	\$192,769	\$74.14

	Adjoins Solar Farm		Not Adjoin Solar Farm	
	Average	Median	Average	Median
Sales Price/SF	\$79.90	\$79.90	\$75.57	\$74.14
GBA	2,328	2,328	2,494	2,600

Based on the matched pairs I find no indication of negative impact due to proximity to the solar farm.

The most similar comparable is the home on Columbus that sold for \$79.05 per square foot. This is higher than the median rate for all of the comparables. Applying that price per square foot to the subject property square footage indicates a value of \$184,000.

19. Matched Pair – Portage Solar, Portage, IN



This solar farm has a 2 MW output and is located on a portion of a 56-acre tract. The project was built in 2012.

I have considered the recent sale of Parcels 5 and 12. Parcel 5 is an undeveloped tract, while Parcel 12 is a residential home. I have compared each to a set of comparable sales to determine if there was any impact due to the adjoining solar farm. This home is 1,320 feet from the closest solar panel.

Adjoining Residential Sales After Solar Farm Completed

#	TAX ID	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA
12	64-06-19-326-007.000-015	1.00	Sep-13	\$149,800	1964	1,776	\$84.35

Nearby Residential Sales After Solar Farm Completed

#	TAX ID	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA
2501 Architect Dr	64-04-32-202-004.000-021	1.31	Nov-15	\$191,500	1959	2,064	\$92.78
336 E 1050 N	64-07-09-326-003.000-005	1.07	Jan-13	\$155,000	1980	1,908	\$81.24
2572 Pryor Rd	64-05-14-204-006.000-016	1.00	Jan-16	\$216,000	1960	2,348	\$91.99

Adjoining Land Sales After Solar Farm Completed

#	TAX ID	Acres	Date Sold	Sales Price	\$/AC
5	64-06-19-200-003.000-015	18.70	Feb-14	\$149,600	\$8,000

Nearby Land Sales After Solar Farm Completed

#	TAX ID	Acres	Date Sold	Sales Price	\$/AC
	64-07-22-401-001.000-005	74.35	Jun-17	\$520,450	\$7,000
	64-15-08-200-010.000-001	15.02	Jan-17	\$115,000	\$7,658

Residential Sale Adjustment Chart

TAX ID	Date Sold	Adjustments		Total	\$/Sf
		Time			
64-06-19-326-007.000-015	Sep-13	\$8,988		\$158,788	\$89.41
64-04-32-202-004.000-021	Nov-15	\$3,830		\$195,330	\$94.64
64-07-09-326-003.000-005	Jan-13	\$9,300		\$164,300	\$86.11
64-05-14-204-006.000-016	Jan-16			\$216,000	\$91.99

2% adjustment/year

Adjusted to 2017

	Adjoins Solar Farm		Not Adjoin Solar Farm	
	Average	Median	Average	Median
Sales Price/SF	\$89.41	\$89.41	\$90.91	\$91.99
GBA	1,776	1,776	2,107	2,064

After adjusting the price per square foot is 2.88% less for the home adjoining the solar farm versus those not adjoining the solar farm. This is within the typical range of variation to be anticipated in any real estate transaction and indicates no impact on property value.

Applying the price per square foot for the 336 E 1050 N sale, which is the most similar to the Parcel 12 sale, the adjusted price at \$81.24 per square foot applied to the Parcel 12 square footage yields a value of \$144,282.

Land Sale Adjustment Chart

TAX ID	Date Sold	Adjustments Time	Total	\$/Acre
64-06-19-200-003.000-015	Feb-14	\$8,976	\$158,576	\$8,480
64-07-22-401-001.000-005	Jun-17		\$520,450	\$7,000
64-15-08-200-010.000-001	Jan-17		\$115,000	\$7,658

2% adjustment/year
Adjusted to 2017

	Adjoins Solar Farm		Not Adjoin Solar Farm	
	Average	Median	Average	Median
Sales Price/Ac	\$8,480	\$8,480	\$7,329	\$7,329
Acres	18.70	18.70	44.68	44.68

After adjusting the price per acre is higher for the property adjoining the solar farm, but the average and median size considered is higher which suggests a slight discount. This set of matched pair supports no indication of negative impact due to the adjoining solar farm.

Alternatively, adjusting the 2017 sales back to 2014 I derive an indicated price per acre for the comparables at \$6,580 per acre to \$7,198 per acre, which I compare to the unadjusted subject property sale at \$8,000 per acre.

20. Matched Pair – Dominion Indy III, Indianapolis, IN

This solar farm has an 8.6 MW output and is located on a portion of a 134-acre tract. The project was built in 2013.

There are a number of homes on small lots located along the northern boundary and I have considered several sales of these homes. I have compared those homes to a set of nearby not adjoining home sales as shown below. The adjoining homes that sold range from 380 to 420 feet from the nearest solar panel, with an average of 400 feet.

Adjoining Residential Sales After Solar Farm Completed

#	TAX ID	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA
2	2013249	0.38	12/9/2015	\$140,000	2006	2,412	\$58.04
4	2013251	0.23	9/6/2017	\$160,000	2006	2,412	\$66.33
5	2013252	0.23	5/10/2017	\$147,000	2009	2,028	\$72.49
11	2013258	0.23	12/9/2015	\$131,750	2011	2,190	\$60.16
13	2013260	0.23	3/4/2015	\$127,000	2005	2,080	\$61.06
14	2013261	0.23	2/3/2014	\$120,000	2010	2,136	\$56.18

Nearby Not Adjoining Residential Sales After Solar Farm Completed

#	TAX ID	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA
5836 Sable Dr	2013277	0.14	Jun-16	\$141,000	2005	2,280	\$61.84
5928 Mosaic Pl	2013845	0.17	Sep-15	\$145,000	2007	2,280	\$63.60
5904 Minden Dr	2012912	0.16	May-16	\$130,000	2004	2,252	\$57.73
5910 Mosaic Pl	2000178	0.15	Aug-16	\$146,000	2009	2,360	\$61.86
5723 Minden Dr	2012866	0.26	Nov-16	\$139,900	2005	2,492	\$56.14

TAX ID	Date Sold	Adjustments		
		Time	Total	\$/Sf
2013249	12/9/2015	\$5,600	\$145,600	\$60.36
2013251	9/6/2017		\$160,000	\$66.33
2013252	5/10/2017		\$147,000	\$72.49
2013258	12/9/2015	\$5,270	\$137,020	\$62.57
2013260	3/4/2015	\$5,080	\$132,080	\$63.50
2013261	2/3/2014	\$7,200	\$127,200	\$59.55
2013277	6/1/2016	\$2,820	\$143,820	\$63.08
2013845	9/1/2015	\$5,800	\$150,800	\$66.14
2012912	5/1/2016	\$2,600	\$132,600	\$58.88
2000178	8/1/2016	\$2,920	\$148,920	\$63.10
2012866	11/1/2016	\$2,798	\$142,698	\$57.26

2% adjustment/year

Adjusted to 2017

	Adjoins Solar Farm		Not Adjoin Solar Farm	
	Average	Median	Average	Median
Sales Price/SF	\$64.13	\$63.03	\$61.69	\$63.08
GBA	2,210	2,163	2,333	2,280

This set of homes provides very strong indication of no impact due to the adjacency to the solar farm and includes a large selection of homes both adjoining and not adjoining in the analysis.

21. Matched Pair – Beetle-Shelby Solar, Cleveland County, NC



This project is located on Bachelor Road at Timber Drive, Mooresboro, NC. This is a 4 MW facility on a parent tract of 24 acres.

I have considered a custom home on a nearby property adjoining this solar farm. This home is located on 10.08 acres, was built in 2013, and has a gross living area of 3,196 s.f. This property sold on October 1, 2018 \$416,000. I compared this to several nearby homes of similar size on large lots as shown below.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
Adjoins	1715 Timber	10.08	10/1/2018	\$416,000	2013	3,196	\$130.16	4/3.5	2xGar	1.5 story	Pool, Scrn Prch
Not	1021 Posting	2.45	2/15/2019	\$414,000	2000	4,937	\$83.86	4/4.5	2xGar	1.5 story	Scrn Prch
Not	2521 Wood	3.25	7/30/2017	\$350,000	2003	3,607	\$97.03	4/4	4xGar	1.5 story	Pool, sunroom
Not	356 Whitaker	7.28	1/9/2017	\$340,000	1997	3,216	\$105.72	4/4	2xGar	Ranch	Pole barn

Adjoining Sales Adjusted

Time	Acres	YB	GLA	BR/BA	Park	Other	Total	% Diff
							\$416,000	
	\$15,000	\$37,674	-\$58,398	-\$10,000			\$398,276	4%
\$10,500	\$12,000	\$24,500	-\$15,952	-\$5,000	-\$5,000		\$371,048	11%
\$15,300	\$5,000	\$38,080	-\$846	-\$5,000			\$392,534	6%
Average								7%

The data on these sales all show that the subject property adjoining the solar farm sold for more than these other comparable sales. These sales suggest a mild increase in value due to proximity to the solar farm; however, the subject property is a custom home with upgrades that would balance out that difference. I therefore conclude that these matched pairs support an indication of no impact on property value.

22. Matched Pair – Courthouse Solar, Gaston County, NC



This project is a 5 MW facility located on 161.92 acres on Tryon Courthouse Road near Bessemer City that was approved in late 2016 but has not yet been constructed due to delays in the power purchase agreement process with Duke Progress Energy.

I have considered a recent sale of a home (Parcel 13) located across from this approved solar farm project as well as an adjoining lot sale (Parcel 25) to the west of this approved project.

I compared the home sale to similar sized homes with similar exposure to county roads as shown below. I considered three similar sales that once adjusted for differences show a positive relationship due to proximity to the solar farm. The positive impact is less than 5% which is a standard deviation for real estate transaction and indicates no impact on property value.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style
Adjoins	2134 Tryon Court.	0.85	3/15/2017	\$111,000	2001	1,272	\$87.26	3/2	Drive	Ranch
Not	214 Kiser	1.14	1/5/2017	\$94,000	1987	1,344	\$69.94	3/2	Drive	Ranch
Not	101 Windward	0.30	3/30/2017	\$104,000	1995	1,139	\$91.31	3/2	Drive	Ranch
Not	5550 Lennox	1.44	10/12/2018	\$115,000	2002	1,224	\$93.95	3/2	Drive	Ranch

Adjoining Residential Sales After Solar Farm Approved

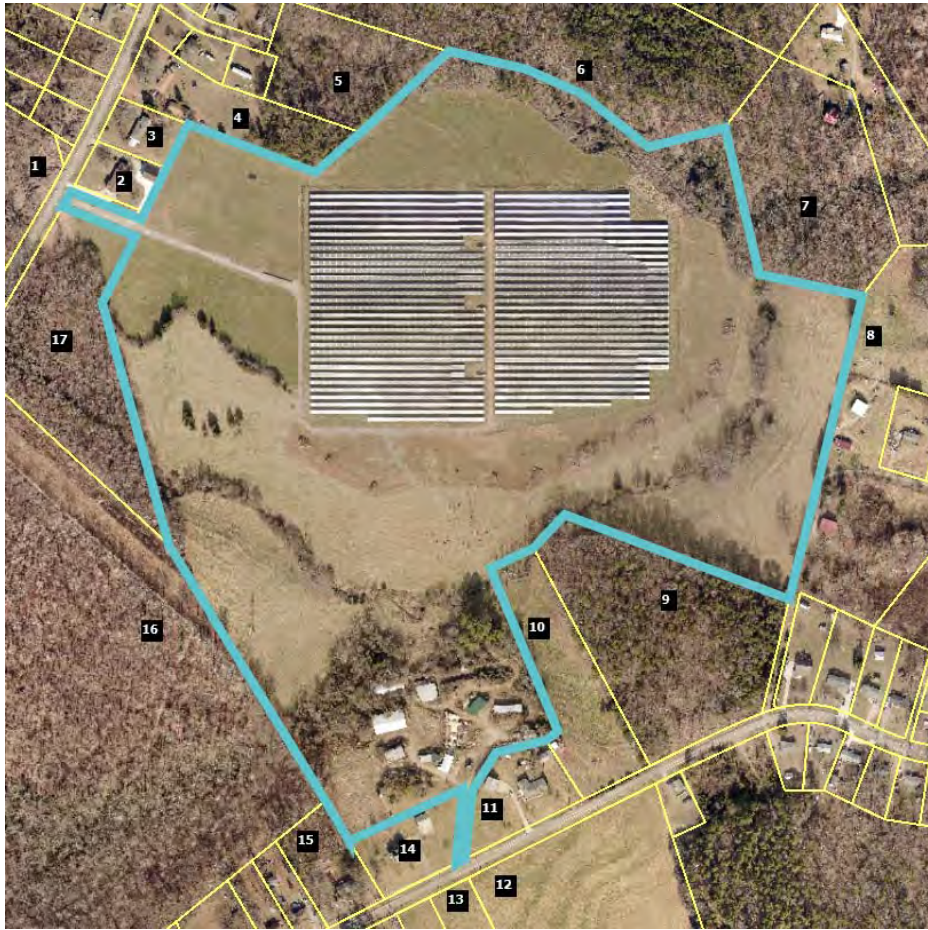
Adjoining Sales Adjusted

Solar	Address	Acres	Date Sold	Sales Price	Time	Acres	YB	GLA	Total	% Diff
Adjoins	2134 Tryon Court.	0.85	3/15/2017	\$111,000					\$111,000	
Not	214 Kiser	1.14	1/5/2017	\$94,000	\$533		\$9,212	-\$1,511	\$102,234	8%
Not	101 Windward	0.30	3/30/2017	\$104,000	-\$128		\$4,368	\$5,615	\$113,855	-3%
Not	5550 Lennox	1.44	10/12/2018	\$115,000	-\$5,444		-\$805	-\$2,396	\$106,355	4%
Average										3%

Similarly, I compared the lot sale to four nearby land sales. Parcel 25 could not be subdivided and was a single estate lot. There were a number of nearby lot sales along Weaver Dairy that sold for \$43,000 to \$30,000 per lot for 4-acre home lots. Estate lots typically sell at a base homesite rate

Adjoining Residential Land Sales After Solar Farm Approved						Adjoining Sales Adjusted				
Solar	Address	Acres	Date Sold	Sales Price	\$/Ac	Time	Acres	Total	% Diff	Note
Adjoins	5021 Buckland	9.66	3/21/2018	\$58,500	\$6,056			\$58,500		1 homesite only
Not	Campbell	6.75	10/31/2018	\$42,000	\$6,222	-\$773	\$18,107	\$59,333	-1%	
Not	Kiser	17.65	11/27/2017	\$69,000	\$3,909	\$647	-\$19,508	\$50,139	14%	6 acres less usable due to shape (50%)
Not	522 Weaver Dairy	3.93	2/26/2018	\$30,000	\$7,634	\$57	\$25,000	\$55,057	6%	
Not	779 Sunnyside	6.99	3/6/2017	\$34,000	\$4,864	\$1,062	\$12,987	\$48,049	18%	
Average									9%	

23. Matched Pair – Mariposa Solar, Gaston County, NC



This project is a 5 MW facility located on 35.80 acres out of a parent tract of 87.61 acres at 517 Blacksnake Road, Stanley that was built in 2016.

I have considered a number of recent sales around this facility as shown below.

The first is identified in the map above as Parcel 1, which is 215 Mariposa Road. This is an older dwelling on large acreage with only one bathroom. I've compared it to similar nearby homes as shown below.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style
Adjoins	215 Mariposa	17.74	12/12/2017	\$249,000	1958	1,551	\$160.54	3/1	Garage	Br/Rnch
Not	249 Mariposa	0.48	3/1/2019	\$153,000	1974	1,792	\$85.38	4/2	Garage	Br/Rnch
Not	110 Airport	0.83	5/10/2016	\$166,000	1962	2,165	\$76.67	3/2	Crprt	Br/Rnch
Not	1249 Blacksnake	5.01	9/20/2018	\$242,500	1980	2,156	\$112.48	3/2	Drive	1.5
Not	1201 Abernathy	27.00	5/3/2018	\$390,000	1970	2,190	\$178.08	3/2	Crprt	Br/Rnch

Adjoining Residential Sales After Solar Farm Approved					Adjoining Sales Adjusted								
Solar	Address	Acres	Date Sold	Sales Price	Time	YB	Acres	GLA	BR/BA	Park	Other	Total	% Diff
Adjoins	215 Mariposa	17.74	12/12/2017	\$249,000								\$249,000	
Not	249 Mariposa	0.48	3/1/2019	\$153,000	-\$5,583	-\$17,136	\$129,450	-\$20,576	-\$10,000			\$229,154	8%
Not	110 Airport	0.83	5/10/2016	\$166,000	\$7,927	-\$4,648	\$126,825	-\$47,078	-\$10,000			\$239,026	4%
Not	1249 Blacksnake	5.01	9/20/2018	\$242,500	-\$5,621	-\$37,345	\$95,475	-\$68,048	-\$10,000	\$5,000		\$221,961	11%
Not	1201 Abernathy	27.00	5/3/2018	\$390,000	-\$4,552	-\$32,760	-\$69,450	-\$60,705	-\$10,000			\$212,533	15%
Average													9%

The average difference after adjusting for all factors is +9% on average, which suggests an enhancement due to the solar farm across the street. Given the large adjustments for acreage and size, I will focus on the low end of the adjusted range at 4%, which is within the typical deviation and therefore suggests no impact on value.

I have also considered Parcel 4 that sold after the solar farm was approved but before it had been constructed in 2016.

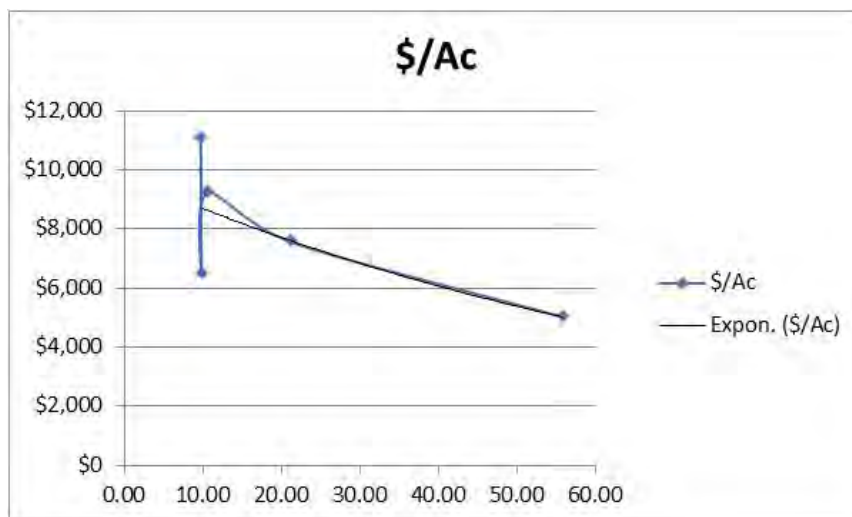
Adjoining Residential Sales After Solar Farm Approved												
Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	
Adjoins	242 Mariposa	2.91	9/21/2015	\$180,000	1962	1,880	\$95.74	3/2	Carport	Br/Rnch	Det Wrkshop	
Not	249 Mariposa	0.48	3/1/2019	\$153,000	1974	1,792	\$85.38	4/2	Garage	Br/Rnch		
Not	110 Airport	0.83	5/10/2016	\$166,000	1962	2,165	\$76.67	3/2	Crprt	Br/Rnch		
Not	1249 Blacksnake	5.01	9/20/2018	\$242,500	1980	2,156	\$112.48	3/2	Drive	1.5		

Adjoining Residential Sales After Solar Farm Approved					Adjoining Sales Adjusted								
Solar	Address	Acres	Date Sold	Sales Price	Time	YB	Acres	GLA	BR/BA	Park	Other	Total	% Diff
Adjoins	242 Mariposa	2.91	9/21/2015	\$180,000								\$180,000	
Not	249 Mariposa	0.48	3/1/2019	\$153,000	-\$15,807	-\$12,852	\$18,468	\$7,513		-\$3,000	\$25,000	\$172,322	4%
Not	110 Airport	0.83	5/10/2016	\$166,000	-\$3,165	\$0	\$15,808	-\$28,600			\$25,000	\$175,043	3%
Not	1249 Blacksnake	5.01	9/20/2018	\$242,500	-\$21,825	-\$30,555	-\$15,960	-\$40,942		\$2,000	\$25,000	\$160,218	11%
Average													6%

The average difference after adjusting for all factors is +6%, which is again suggests a mild increase in value due to the adjoining solar farm use. The median is a 4% adjustment, which is within a standard deviation and suggests no impact on property value.

I have also considered the recent sale of Parcel 13 that is located on Blacksnake Road south of the project. I was unable to find good land sales in the same 20 acre range, so I have considered sales of larger and smaller acreage. I adjusted each of those land sales for time. I then applied the price per acre to a trendline to show where the expected price per acre would be for 20 acres. As can be seen in the chart below, this lines up exactly with the purchase of the subject property. I therefore conclude that there is no impact on Parcel 13 due to proximity to the solar farm.

Adjoining Residential Land Sales After Solar Farm Approved						Adjoining Sales Adjusted	
Solar	Tax/Street	Acres	Date Sold	Sales Price	\$/Ac	Time	\$/Ac
Adjoins	174339/Blacksnake	21.15	6/29/2018	\$160,000	\$7,565		\$7,565
Not	227852/Abernathy	10.57	5/9/2018	\$97,000	\$9,177	\$38	\$9,215
Not	17443/Legion	9.87	9/7/2018	\$64,000	\$6,484	-\$37	\$6,447
Not	164243/Alexis	9.75	2/1/2019	\$110,000	\$11,282	-\$201	\$11,081
Not	176884/Bowden	55.77	6/13/2018	\$280,000	\$5,021	\$7	\$5,027

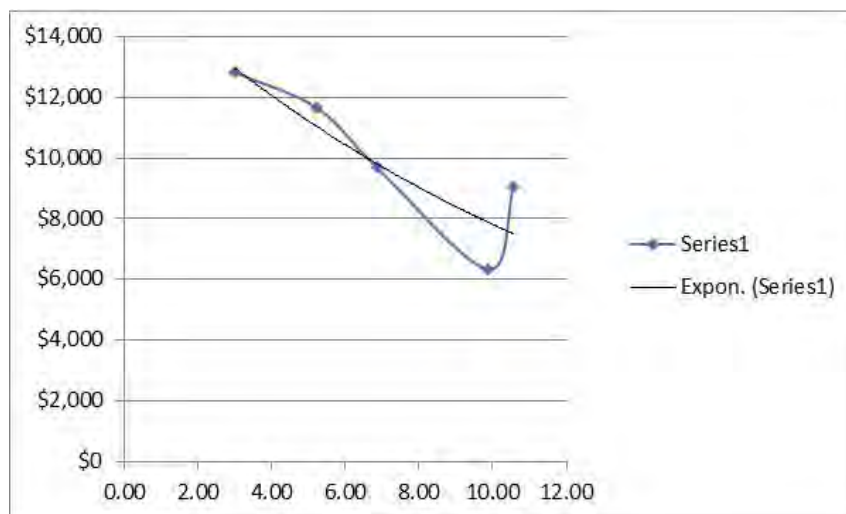


Finally, I have considered the recent sale of Parcel 17 that sold as vacant land. I was unable to find good land sales in the same 7 acre range, so I have considered sales of larger and smaller acreage. I adjusted each of those land sales for time. I then applied the price per acre to a trendline to show where the expected price per acre would be for 7 acres. As can be seen in the chart below, this lines up with the trendline running right through the purchase price for the subject property. I therefore conclude that there is no impact on Parcel 13 due to proximity to the solar farm. I note that this property was improved with a 3,196 square foot ranch built in 2018 following the land purchase, which shows that development near the solar farm was unimpeded.

Adjoining Residential Land Sales After Solar Farm Approved

Adjoining Sales Adjusted

Solar	Tax/Street	Acres	Date Sold	Sales Price	\$/Ac	Time	Location	\$/Ac
Adjoins	227039/Mariposa	6.86	12/6/2017	\$66,500	\$9,694			\$9,694
Not	227852/Abernathy	10.57	5/9/2018	\$97,000	\$9,177	-\$116		\$9,061
Not	17443/Legion	9.87	9/7/2018	\$64,000	\$6,484	-\$147		\$6,338
Not	177322/Robinson	5.23	5/12/2017	\$66,500	\$12,715	\$217	-\$1,272	\$11,661
Not	203386/Carousel	2.99	7/13/2018	\$43,500	\$14,548	-\$262	-\$1,455	\$12,832



24. Matched Pair – Clarke County Solar, Clarke County, VA



This project is a 20 MW facility located on a 234-acre tract that was built in 2017.

Solar	Address	Acres	Date Sold	Sales Price	Time	Acres	YB	GLA	BR/BA	Park	Other	Total	% Diff
Adjoints	833 Nations Spr	5.13	1/9/2017	\$295,000								\$295,000	
Not	85 Ashby	5.09	9/11/2017	\$315,000	-\$6,300		-\$6,615	-\$38,116		-\$7,000	\$15,000	\$271,969	8%
Not	541 Old Kitchen	5.07	9/9/2018	\$370,000	-\$18,500		-\$18,130	-\$62,057		-\$7,000	\$15,000	\$279,313	5%
Not	4174 Rockland	5.06	1/2/2017	\$300,000			-\$23,100	-\$15,782		-\$12,000	\$15,000	\$264,118	10%
Not	400 Sugar Hill	1.00	6/7/2018	\$180,000	-\$9,000	\$43,000	\$5,040	\$20,571	\$10,000	\$3,000	\$15,000	\$267,611	9%
												Average	8%

25. Matched Pair – Flemington Solar, Flemington, NJ



This solar farm is located off Kuhl Road and is south of Hart Boulevard. I spoke with Gerry Giles a local realtor who is familiar with the adjoining neighborhood as she has lived in that neighborhood. She indicated that in her opinion the adjoining solar farm is a quiet neighbor and would not have a negative impact on property value.

Furthermore, I spoke with her specifically about the recent sale of 10 Coventry, which I have included in the matched pairs. She noted that the seller was a divorced bachelor who had set the place up like a dorm and that it showed terribly. She believes proper staging of the interior would have significantly improved the sales price on this home. I adjusted for that factor in the comparables in that analysis based on that information.

I have identified four recent sales of homes adjoining this subdivision along Hart Boulevard and the side streets off of Hart Boulevard.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
8	Adjoins	10 Coventry	0.36	3/19/2018	\$370,000	1986	1,829	\$202.30	3/2.5	2-Gar	2-Story	Staging
	Not	58 Wellington	0.45	6/8/2018	\$334,500	1984	1,757	\$190.38	3/2.5	2-Gar	2-Story	
	Not	28 Bristol	0.35	1/17/2018	\$398,000	1985	1,757	\$226.52	3/2.5	2-Gar	2-Story	
	Not	1 Sheffield	0.35	12/15/2017	\$399,900	1984	1,870	\$213.85	4/2.5	2-Gar	2-Story	

Adjoining Sales Adjusted

Adjoining Sales Adjusted							Avg
Time	YB	GLA	BR/BA	Park	Other	Total	% Diff
						\$370,000	
-\$2,283	\$3,345	\$8,224			-\$10,035	\$333,751	10%
\$2,046	\$1,990	\$9,786			-\$11,940	\$399,882	-8%
\$3,168	\$3,999	-\$5,261			-\$11,997	\$389,809	-5%
							-1%

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
14	Adjoins	54 Hart	0.36	7/25/2016	\$420,000	1986	2,680	\$156.72	4/2.5	2-Gar	2-Story	
	Not	43 Aberdeen	0.36	11/21/2016	\$417,000	1987	2,524	\$165.21	4/2.5	2-Gar	2-Story	
	Not	42 Aberdeen	0.34	2/7/2017	\$454,900	1988	2,734	\$166.39	5/3	2-Gar	2-Story	
	Not	18 Aberdeen	0.34	11/6/2017	\$437,500	1988	2,687	\$162.82	4/2.5	2-Gar	2-Story	

Adjoining Sales Adjusted

[illegible]

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
16	Adjoins	6 Portsmith	0.36	6/19/2015	\$410,000	1991	2,687	\$152.59	4/2.5	2-Gar	2-Story	
	Not	43 Aberdeen	0.36	11/21/2016	\$417,000	1987	2,524	\$165.21	4/2.5	2-Gar	2-Story	
	Not	42 Aberdeen	0.34	2/7/2017	\$454,900	1988	2,734	\$166.39	5/3	2-Gar	2-Story	
	Not	18 Aberdeen	0.34	11/6/2017	\$437,500	1988	2,687	\$162.82	4/2.5	2-Gar	2-Story	

Adjoining Sales Adjusted

[illegible]

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
19	Adjoins	12 Stratford	0.55	11/30/2017	\$414,900	1991	1,828	\$226.97	3/2.5	2-Gar	2-Story	
	Not	58 Wellington	0.45	6/8/2018	\$334,500	1984	1,757	\$190.38	3/2.5	2-Gar	2-Story	
	Not	28 Bristol	0.35	1/17/2018	\$398,000	1985	1,757	\$226.52	3/2.5	2-Gar	2-Story	
	Not	1 Sheffield	0.35	12/15/2017	\$399,900	1984	1,870	\$213.85	4/2	Gar	2-Story	

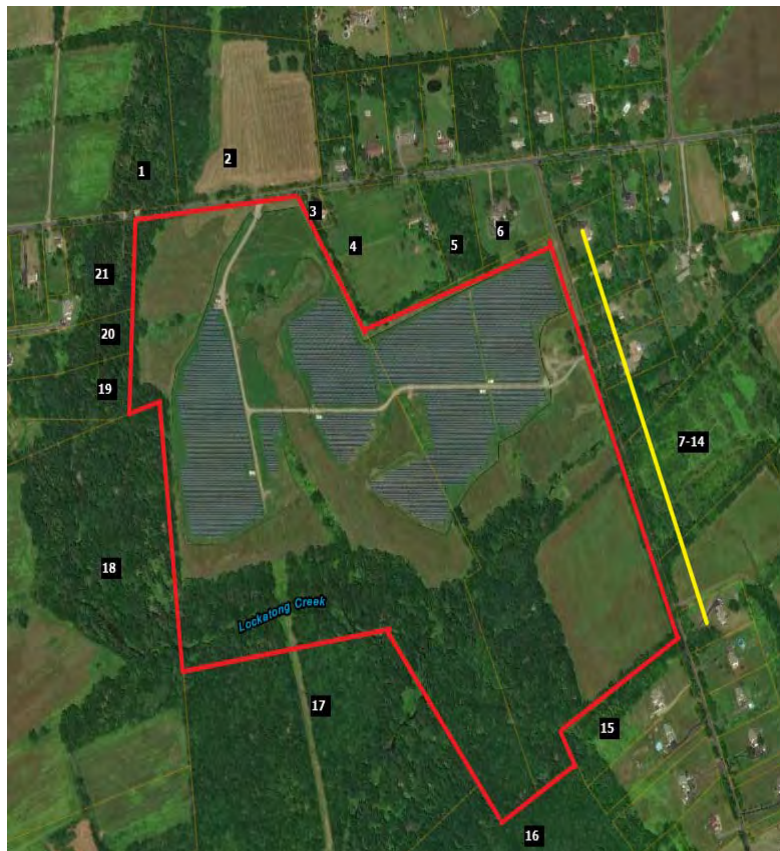
Adjoining Sales Adjusted

Time	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
						\$414,900			345
-\$5,356	\$11,708	\$8,110				\$348,962	16%		
-\$1,610	\$11,940	\$9,650				\$417,980	-1%		
-\$505	\$13,997	-\$5,389	\$5,000	\$7,000		\$420,002	-1%		
								5%	

The range of impact identified by these matched pairs ranges are therefore -3% to +5% for distances ranging from 295 feet to 425 feet with an average difference from these four indicators of 0%. As noted earlier this range is within the typical plus or minus for any real estate transaction and indicates no impact on property value.

The broker Gerry Giles indicated that she has not seen the solar farm having any impact on adjoining property value. She noted that the solar farm is visible from Hart Boulevard and from a number of these backyards, but is still heavily screened.

26. Matched Pair – Frenchtown Solar, Frenchtown, NJ



This solar farm is located off Muddy Run Road. I spoke with Gerry Giles a local realtor who helped a buyer purchase 5 Muddy Town Road. She indicated that his home adjoining the solar farm had multiple offers and that most of those offers were higher than the offer she presented, but her buyer provided an all cash offer. This was important as the property was being purchased while the septic system required repairs and updates that the seller paid for but completed the work during/after the purchase. The solar farm was not considered a negative by her buyer.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
7	Adjoins	5 Muddy Run	2.14	6/23/2017	\$385,000	1985	2,044	\$188.36	4/2.5	2-Gar	2-Story	Updated
	Not	319 Barbertown	2.00	5/21/2019	\$358,000	1988	2,240	\$159.82	4/3	Gar	2-Story	
	Not	132 Kingwood	3.17	10/31/2016	\$380,000	1996	2,392	\$158.86	3/2.5	Det 2	2-Story	
	Not	26 Barbertown	2.03	5/21/2019	\$360,000	1998	2,125	\$169.41	4/3	2-Gar	2-Story	

Adjoining Sales Adjusted

Time	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
						\$385,000			250
-\$13,673	-\$5,370	-\$18,795	-\$5,000	\$10,000	\$20,000	\$345,162	10%		
\$4,893	-\$20,900	-\$33,171		\$5,000	\$20,000	\$355,823	8%		
-\$13,749	-\$23,400	-\$8,233	-\$5,000		\$20,000	\$329,618	14%		
								11%	

After typical adjustments including a \$20,000 increase in the comparable sales for updates, the subject property is showing a significant premium that may be attributable to the adjoining solar farm.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style
	Adjoins	149 Wyndmoor	N/A	5/24/2017	\$206,000	1987	1,236	\$166.67	2/1.5	Gar	2-Story
	Not	97 Wyndmoor	N/A	4/17/2017	\$210,000	1987	1,236	\$169.90	2/1.5	Gar	2-Story
	Not	24 Monroe	N/A	12/23/2016	\$217,979	1987	1,560	\$139.73	3/2.5	Gar	2-Story
	Not	81 Wyndmoor	N/A	1/31/2018	\$204,000	1987	1,254	\$162.68	2/2.5	Gar	2-Story

Adjoining Sales Adjusted

Time	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
						\$206,000			175
\$639	\$0	\$0				\$210,639	-2%		
\$2,723	\$0	-\$27,164				\$193,539	6%		
-\$4,225	\$0	-\$1,757				\$198,018	4%		
								3%	

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style
	Adjoins	26 Wilmor	0.46	3/19/2019	\$286,000	1961	1,092	\$261.90	3/1.5	Gar	Ranch
	Not	25 Pinehurst	0.48	5/17/2019	\$315,000	1967	1,314	\$239.73	3/1&2	Gar	Ranch
	Not	15 Maple Stream	0.40	6/6/2017	\$285,000	1964	1,202	\$237.10	3/1.5	Gar	Ranch
	Not	3 Amy	0.29	10/11/2018	\$286,000	1969	1,229	\$232.71	3/1.5	Gar	Ranch

Adjoining Sales Adjusted

Time	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
						\$286,000			400
-\$1,566	-\$9,450	-\$31,932	-\$5,000			\$267,052	7%		
\$15,635	-\$4,275	-\$15,649				\$280,711	2%		
\$3,832	-\$11,440	-\$19,129				\$259,263	9%		
								6%	
							Average	-2%	250

The range of impact identified by these matched pairs ranges are therefore -14% to +6% for distances ranging from 175 feet to 400 feet with an average difference from these three indicators of -2%. As noted earlier this range is within the typical plus or minus for any real estate transaction and indicates no impact on property value.

This set of matched pairs is interesting and there appears to be more going on when you compare the two townhome properties. One shows a significant discount and the other shows no impact. When I compare the two townhomes that both back up to the same solar farm, the townhome that includes 1,532 s.f. sold for only \$9,000 more than the townhome that has 1,236 s.f. I attempted to speak with the broker involved with these but was unable to get a reply. The difference there strongly indicates that something else is going on with the larger townhome. I will not rely heavily on that matched pair, but I have included it to be complete.

28. Matched Pair – Tinton Falls Solar, Tinton Falls, NJ



This solar farm is located off W. Park Avenue. The tract with the solar farm also has a condo/townhome project from which I have considered recent sales activity. I note that the developer of the solar farm and the townhome community clearly did not see any negative impact from the combined use. These units are still being constructed with new sales expected in the near future.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
	Adjoins	111 Kyle	N/A	8/8/2018	\$402,000	2015	2,200	\$182.73	3/2.5	Gar	3-Story	End
	Not	80 Kyle	N/A	9/18/2017	\$410,000	2015	2,226	\$184.19	2/2.5	Gar	3-Story	End/Park
	Not	15 Michael	N/A	9/19/2018	\$412,000	2016	2,157	\$191.01	3/2.5	Gar	3-Story	End
	Not	31 Michael	N/A	4/1/2019	\$390,000	2016	2,200	\$177.27	3/2.5	Gar	3-Story	End
	Not	15 Michael	N/A	9/9/2018	\$412,000	2016	2,157	\$191.01	3/2.5	Gar	3-Story	End

Adjoining Sales Adjusted

Time	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
						\$402,000			185
\$11,194	\$0	-\$2,873			-\$20,500	\$397,821	1%		
-\$1,458	-\$2,060	\$4,928				\$413,410	-3%		
-\$7,756	-\$1,950	\$0				\$380,294	5%		
-\$1,111	-\$2,060	\$4,928				\$413,757	-4%		

1%

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
	Adjoins	47 Kyle	N/A	8/31/2018	\$260,000	2016	1,140	\$228.07	2/2	Gar	3-Story	End
	Not	26 Jake	N/A	10/31/2017	\$268,000	2014	1,140	\$235.09	2/2	Gar	3-Story	End
	Not	4 Michael	N/A	11/8/2018	\$260,000	2015	1,140	\$228.07	2/2	Gar	3-Story	End
	Not	36 Kyle	N/A	1/10/2019	\$260,000	2015	1,140	\$228.07	2/2	Gar	3-Story	

Adjoining Sales Adjusted

Time	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
						\$260,000			155
\$6,866	\$2,680	\$0				\$277,546	-7%		
-\$1,512	\$1,300	\$0				\$259,788	0%		
-\$2,892	\$1,300	\$0			\$7,800	\$266,208	-2%		
								-3%	

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
	Adjoins	7 Kyle	N/A	6/15/2017	\$262,195	2017	1,140	\$230.00	2/2	Gar	3-Story	End
	Not	26 Jake	N/A	10/31/2017	\$268,000	2014	1,140	\$235.09	2/2	Gar	3-Story	End
	Not	4 Michael	N/A	11/8/2018	\$260,000	2015	1,140	\$228.07	2/2	Gar	3-Story	End
	Not	36 Kyle	N/A	1/10/2019	\$260,000	2015	1,140	\$228.07	2/2	Gar	3-Story	

Adjoining Sales Adjusted

Time	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
						\$262,195			150
-\$3,117	\$4,020	\$0				\$268,903	-3%		
-\$11,196	\$2,600	\$0	-\$5,000			\$246,404	6%		
-\$12,576	\$2,600	\$0			\$7,800	\$257,824	2%		
								2%	

Adjoining Residential Sales After Solar Farm Approved

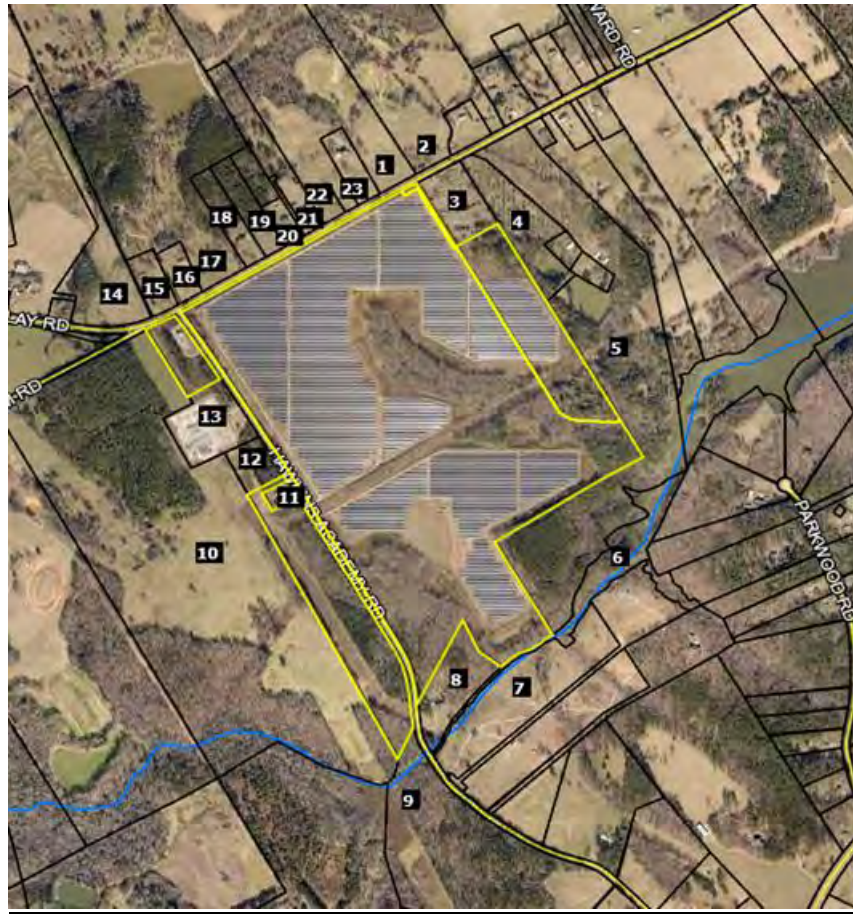
Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
	Adjoins	1 Samantha	N/A	9/1/2017	\$258,205	2017	1,140	\$226.50	2/2	Gar	3-Story	End
	Not	26 Jake	N/A	10/31/2017	\$268,000	2014	1,140	\$235.09	2/2	Gar	3-Story	End
	Not	4 Michael	N/A	11/8/2018	\$260,000	2015	1,140	\$228.07	2/2	Gar	3-Story	End
	Not	36 Kyle	N/A	1/10/2019	\$260,000	2015	1,140	\$228.07	2/2	Gar	3-Story	

Adjoining Sales Adjusted

Time	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
						\$258,205			155
-\$1,355	\$4,020	\$0	-\$5,000			\$265,665	-3%		
-\$9,487	\$2,600	\$0				\$253,113	2%		
-\$10,867	\$2,600	\$0			\$7,800	\$259,533	-1%		
								0%	

The range of impact identified by these matched pairs ranges are therefore -3% to +2% for distances ranging from 150 feet to 185 feet with an average difference from these four indicators of 0%. As noted earlier this range is within the typical plus or minus for any real estate transaction and indicates no impact on property value.

29. Matched Pair – Simon Solar, Social Circle, GA



This solar farm is located off Hawkins Academy Road and Social Circle Fairplay Road. I identified three adjoining sales to this tract after development of the solar farm. However, one of those is shown as Parcel 12 in the map above and includes a powerline easement encumbering over a third of the 5 acres and adjoins a large substation as well. It would be difficult to isolate those impacts from any potential solar farm impact and therefore I have excluded that sale. I also excluded the recent sale of Parcel 17, which is a farm with conservation restrictions on it that similarly would require a detailed examination of those conservation restrictions in order to see if there was any impact related to the solar farm. I therefore focused on the recent sale of Parcel 7 and the adjoining parcel to the south of that. They are technically not adjoining due to the access road for the flag-shaped lot to the east. Furthermore, there is an apparent access easement serving the two rear lots that encumber these two parcels which is a further limitation on these sales. This analysis assumes that the access easement does not negatively impact the subject property, though it may.

Adjoining Land Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	\$/AC	Type	Other
7+	Adjoins	4514 Hawkins	36.86	3/31/2016	\$180,000	\$4,883	Pasture	Esmts
	Not	HD Atha	69.95	12/20/2016	\$357,500	\$5,111	Wooded	N/A
	Not	Pannell	66.94	11/8/2016	\$322,851	\$4,823	Mixed	*
	Not	1402 Roy	123.36	9/29/2016	\$479,302	\$3,885	Mixed	**

* Adjoining 1 acre purchased by same buyer in same deed. Allocation assigned on the County Tax Record.

** Dwelling built in 1996 with a 2016 tax assessed value of \$75,800 deducted from sales price to reflect land value

Adjoining Sales Adjusted							Avg
Time	Size	Type	Other	Total/Ac	% Diff		% Diff
				\$4,883			
\$89	\$256			\$5,455	-12%		
-\$90	\$241			\$4,974	-2%		
-\$60	\$389			\$4,214	14%		
							0%

The range of impact identified by these matched pairs ranges are therefore -12% to +14% for with an average of 0%. The best matched pair with the least adjustment supports a -2% impact due to the solar farm. I note again that this analysis considers no impact for the existing access easements that meander through this property and it may be having an impact. Still at -2% impact as the best indication for the solar farm, I consider that to be no impact given that market fluctuations support +/- 5%.

30. Matched Pair – Candace Solar, Princeton, NC



This solar farm is located at 4839 US 70 Highway just east of Herring Road. This solar farm was completed on October 25, 2016.

I identified three adjoining sales to this tract after development of the solar farm with frontage on US 70. I did not attempt to analyze those sales as they have exposure to an adjacent highway and railroad track. Those homes are therefore problematic for a matched pair analysis unless I have similar homes fronting on a similar corridor.

I did consider a land sale and a home sale on adjoining parcels without those complications.

The lot at 499 Herring Road sold to Paradise Homes of Johnston County of NC, Inc. for \$30,000 in May 2017 and a modular home was placed there and sold to Karen and Jason Toole on September 29, 2017. I considered the lot sale first as shown below and then the home sale that followed.

Adjoining Land Sales After Solar Farm Approved						Adjoining Sales Adjusted					
Parcel	Solar	Address	Acres	Date Sold	Sales Price	Other	Time	Site	Other	Total	% Diff
16	Adjoins	499 Herring	2.03	5/1/2017	\$30,000					\$30,000	
	Not	37 Becky	0.87	7/23/2019	\$24,500	Sub/Pwr	-\$1,679	\$4,900		\$27,721	8%
	Not	5858 Bizzell	0.88	8/17/2016	\$18,000		\$390	\$3,600		\$21,990	27%
	Not	488 Herring	2.13	12/20/2016	\$35,000		\$389			\$35,389	-18%
Average											5%

Following the land purchase, the modular home was placed on the site and sold. I have compared this modular home to the following sales to determine if the solar farm had any impact on the purchase price.

Adjoining Residential Sales After Solar Farm Approved												
Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
16	Adjoins	499 Herring	2.03	9/27/2017	\$215,000	2017	2,356	\$91.26	4/3	Drive	Modular	
	Not	678 WC	6.32	3/8/2019	\$226,000	1995	1,848	\$122.29	3/2.5	Det Gar	Mobile	Ag bldgs
	Not	1810 Bay V	8.70	3/26/2018	\$170,000	2003	2,356	\$72.16	3/2	Drive	Mobile	Ag bldgs
	Not	1795 Bay V	1.78	12/1/2017	\$194,000	2017	1,982	\$97.88	4/3	Drive	Modular	

Adjoining Residential Sales After Adjoining Sales Adjusted											Avg
Parcel	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff
16	Adjoins	499 Herring								\$215,000	
	Not	678 WC	-\$10,037	-\$25,000	\$24,860	\$37,275	-\$5,000	-\$7,500	-\$20,000	\$220,599	-3%
	Not	1810 Bay V	-\$2,579	-\$20,000	\$11,900	\$0				\$159,321	26%
	Not	1795 Bay V	-\$1,063		\$0	\$21,964				\$214,902	0%
											8%

The best comparable is 1795 Bay Valley as it required the least adjustment and was therefore most similar, which shows a 0% impact. This signifies no impact related to the solar farm.

The range of impact identified by these matched pairs ranges are therefore -3% to +26% with an average of +8% for the home and an average of +4% for the lot, though the best indicator for the lot shows a \$5,000 difference in the lot value due to the proximity to the solar farm or a -12% impact.

31. Matched Pair – Crittenden Solar, Crittenden, KY



This solar farm was built in December 2017 on a 181.70-acre tract but utilizing only 34.10 acres. This is a 2.7 MW facility with residential subdivisions to the north and south.

I have identified four home sales to the north of this solar farm on Claiborne Drive and one home sale to the south on Eagle Ridge Drive since the completion of this solar farm. The home sale on Eagle Drive is for a \$75,000 home and all of the homes along that street are similar in size and price range. According to local broker Steve Glacken with Cutler Real Estate these are the lowest price range/style home in the market. I have not analyzed that sale as it would unlikely provide significant data to other homes in the area.

Mr. Glacken is currently selling lots at the west end of Claiborne for new home construction. He indicated that the solar farm near the entrance of the development has been a complete non-factor and none of the home sales are showing any concern over the solar farm. Most of the homes are in the \$250,000 to \$280,000 price range on lots being marketed for \$28,000 to \$29,000.

The first home considered is a bit of an anomaly for this subdivision in that it is the only manufactured home that was allowed in the community. It sold on January 3, 2019. I compared that sale to three other manufactured home sales in the area making minor adjustments as shown on the next page to account for the differences. After all other factors are considered the adjustments show a -1% to +13% impact due to the adjacency of the solar farm. The best indicator is 1250 Cason, which shows a 3% impact. A 3% impact is within the normal static of real estate transactions and therefore not considered indicative of a positive impact on the property, but it strongly supports an indication of no negative impact.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
	Adjoins	250 Claiborne	0.96	1/3/2019	\$120,000	2000	2,016	\$59.52	3/2	Drive	Manuf	
	Not	1250 Cason	1.40	4/18/2018	\$95,000	1994	1,500	\$63.33	3/2	2-Det	Manuf	Carport
	Not	410 Reeves	1.02	11/27/2018	\$80,000	2000	1,456	\$54.95	3/2	Drive	Manuf	
	Not	315 N Fork	1.09	5/4/2019	\$107,000	1992	1,792	\$59.71	3/2	Drive	Manuf	

This set of matched pairs shows a positive negative impact for this property. The range of adjusted impacts is -5% to +10%. The best indication is +7%. I typically consider measurements of +/-5% to be within the typical static of real estate transactions. This indication is higher than that and suggests a positive relationship.

The four matched pairs considered in this analysis includes two that show no impact on value, one that shows a negative impact on value, and one that shows a positive impact. The negative indication supported by one matched pair is -7% and the positive impact of another is +7%. The two neutral indications show impacts of -1% and +3%. The average indicated impact is +1% when all four of these indicators are blended.

32. Matched Pair – Walker-Correctional Solar, Barham Road, Barhamsville, VA



This project was built in 2017 and located on 484.65 acres for a 20 MW with the closest home at 110 feet from the closest solar panel with an average distance of 500 feet.

I considered the recent sale identified on the map above as Parcel 19, which is directly across the street and based on the map shown on the following page is 250 feet from the closest panel. A limited buffering remains along the road with natural growth being encouraged, but currently the panels are visible from the road. Alex Uminski, SRA with MGMiller Valuations in Richmond VA confirmed this sale with the buying and selling broker. The selling broker indicated that the solar farm was not a negative influence on this sale and in fact the buyer noticed the solar farm and then discovered the listing. The privacy being afforded by the solar farm was considered a benefit by the buyer. I used a matched pair analysis with a similar sale nearby as shown below and found no negative impact on the sales price. Property actually closed for more than the asking price.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
Adjoins	5241 Barham	2.65	10/18/2018	\$264,000	2007	1,660	\$159.04	3/2	Drive	Ranch	Modular
Not	17950 New Kent	5.00	9/5/2018	\$290,000	1987	1,756	\$165.15	3/2.5	3 Gar	Ranch	
Not	9252 Ordinary	4.00	6/13/2019	\$277,000	2001	1,610	\$172.05	3/2	1.5-Gar	Ranch	
Not	2416 W Miller	1.04	9/24/2018	\$299,000	1999	1,864	\$160.41	3/2.5	Gar	Ranch	

Adjoining Sales Adjusted

Solar	Address	Time	Ac/Loc	YB	GLA	BR/BA	Park	Other	Total	% Diff	Dist
Adjoins	5241 Barham								\$264,000		250
Not	17950 New Kent		-\$8,000	\$29,000	-\$4,756	-\$5,000	-\$20,000	-\$15,000	\$266,244	-1%	
Not	9252 Ordinary	-\$8,310	-\$8,000	\$8,310	\$2,581		-\$10,000	-\$15,000	\$246,581	7%	
Not	2416 W Miller		\$8,000	\$11,960	-\$9,817	-\$5,000	-\$10,000	-\$15,000	\$279,143	-6%	

Average Diff 0%



I also spoke with Patrick W. McCrerey of Virginia Estates who was marketing a property that sold at 5300 Barham Road adjoining the Walker-Correctional Solar Farm. He indicated that this property was unique with a home built in 1882 and heavily renovated and updated on 16.02 acres. The solar farm was through the woods and couldn't be seen by this property and it had no impact on marketing this property. This home sold on April 26, 2017 for \$358,000. I did not set up any matched pairs for this property as it was such a unique property that any such comparison would be difficult to rely on. The broker's comments do support the assertion that the adjoining solar farm had no impact on value. The home in this case was 510 feet from the closest panel.

33. Matched Pair – Innovative Solar 46, Roslin Farm Rd, Hope Mills, NC



This project was built in 2016 and located on 532 acres for a 78.5 MW solar farm with the closest home at 125 feet from the closest solar panel with an average distance of 423 feet.

I considered the recent sale of a home on Roslin Farm Road just north of Running Fox Road as shown below. This sale supports an indication of no impact on property value.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
Adjoins	6849 Roslin Farm	1.00	2/18/2019	\$155,000	1967	1,610	\$96.27	3/3	Drive	Ranch	Brick	435
Not	6592 Sim Canady	2.43	9/5/2017	\$185,000	1974	2,195	\$84.28	3/2	Gar	Ranch	Brick	
Not	1614 Joe Hall	1.63	9/3/2019	\$145,000	1974	1,674	\$86.62	3/2	Det Gar	Ranch	Brick	
Not	109 Bledsoe	0.68	1/17/2019	\$150,000	1973	1,663	\$90.20	3/2	Gar	Ranch	Brick	

Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff
Adjoins	6849 Roslin Farm								\$155,000		5%
Not	6592 Sim Canady	\$8,278		-\$6,475	-\$39,444	\$10,000	-\$5,000		\$152,359	2%	
Not	1614 Joe Hall	-\$2,407		-\$5,075	-\$3,881	\$10,000	-\$2,500		\$141,137	9%	
Not	109 Bledsoe	\$404	\$10,000	-\$4,500	-\$3,346		-\$5,000		\$147,558	5%	

34. Matched Pair – Innovative Solar 42, County Line Rd, Fayetteville, NC



This project was built in 2017 and located on 413.99 acres for a 71 MW with the closest home at 135 feet from the closest solar panel with an average distance of 375 feet.

I considered the recent sales identified on the map above as Parcels 2 and 3, which is directly across the street these homes are 330 and 340 feet away. Parcel 2 includes an older home built in 1976, while Parcel 3 is a new home built in 2019. So the presence of the solar farm had no impact on new construction in the area.

The matched pairs for each of these are shown below followed by a more recent map showing the panels at this site.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
Adjoins	2923 County Ln	8.98	2/28/2019	\$385,000	1976	2,905	\$132.53	3/3	2-Car	Ranch	Brick/Pond	340
Not	1928 Shaw Mill	17.00	7/3/2019	\$290,000	1977	3,001	\$96.63	4/4	2-Car	Ranch	Brick/Pond/Rental	
Not	2109 John McM.	7.78	4/25/2018	\$320,000	1978	2,474	\$129.35	3/2	Det Gar	Ranch	Vinyl/Pool,Stable	

Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff
Adjoins	2923 County Ln								\$385,000		3%
Not	1928 Shaw Mill	-\$3,055	\$100,000	-\$1,450	-\$7,422	-\$10,000			\$368,074	4%	
Not	2109 John McM.	\$8,333		-\$3,200	\$39,023	\$10,000		\$5,000	\$379,156	2%	

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
Adjoins	2935 County Ln	1.19	6/18/2019	\$266,000	2019	2,401	\$110.79	4/3	Gar	2-Story		330
Not	3005 Hemingway	1.17	5/16/2019	\$269,000	2018	2,601	\$103.42	4/3	Gar	2-Story		
Not	7031 Glynn Mill	0.60	5/8/2018	\$255,000	2017	2,423	\$105.24	4/3	Gar	2-Story		
Not	5213 Bree Brdg	0.92	5/7/2019	\$260,000	2018	2,400	\$108.33	4/3	3-Gar	2-Story		

Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff
Adjoins	2935 County Ln								\$266,000		3%
Not	3005 Hemingway	\$748		\$1,345	-\$16,547				\$254,546	4%	
Not	7031 Glynn Mill	\$8,724		\$2,550	-\$1,852				\$264,422	1%	
Not	5213 Bree Brdg	\$920		\$1,300	\$76			-\$10,000	\$252,296	5%	

Both of these matched pairs adjust to an average of +3% on impact for the adjoining solar farm, meaning there is a slight positive impact due to proximity to the solar farm. This is within the standard +/- of typical real estate transactions, which strongly suggests no impact on property value. I noted specifically that for 2923 County Line Road, the best comparable is 2109 John McMillan as it does not have the additional rental unit on it. I made no adjustment to the other sale for the value of that rental unit, which would have pushed the impact on that comparable downward – meaning there would have been a more significant positive impact.



35. Matched Pair – Demille Solar, Demille Road, Lapeer, MI



This solar farm is located on 160 acres of a parent tract assemblage of 311.40 acres with a 28.4 MW output. This was built in 2017.

I have identified several home sales adjoining this solar farm at the southeast corner where the red line shows adjoining Parcels 5 through 17 on the map above.

The first is Parcel 8 in the map above, 1120 Don Wayne Drive, that sold in August 2019. I have compared this to multiple home sales as shown below. I consider 1231 Turrill to be the best comparable of this set as it required the least adjustment and was the most similar in size, age, and date of sale.

Adjoining Residential Sales After Solar Farm Built

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Dist.
Adjoins	1120 Don Wayne	0.47	8/28/2019	\$194,000	1976	1,700	\$114.12	3/3.5	2-Car	Ranch	Brick/FinBsm	310
Not	1127 Don Wayne	0.51	9/23/2019	\$176,900	1974	1,452	\$121.83	3/2	2-Car	Ranch	Brick/Ufin Bsm	
Not	1231 Turrill	1.21	4/25/2019	\$182,000	1971	1,560	\$116.67	3/2	2-Car	Ranch	Brick/Wrkshp	
Not	1000 Baldwin	3.11	8/1/2017	\$205,000	1993	1,821	\$112.58	3/2.5	2-Car	Ranch	Vinyl	

Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff
Adjoins	1120 Don Wayne								\$194,000		-1%
Not	1127 Don Wayne	-\$258		\$1,769	\$24,171	\$10,000			\$212,582	-10%	
Not	1231 Turrill	\$1,278	-\$10,000	\$4,550	\$13,067	\$10,000			\$200,895	-4%	
Not	1000 Baldwin	\$8,718	-\$20,000	-\$17,425	-\$10,897	\$10,000			\$175,396	10%	

Next I considered Parcel 9, 1126 Don Wayne Drive, which I have compared to two similar home sales nearby that are not adjoining a solar farm as shown below. This home sold in May 2018 after the solar farm was built.

Adjoining Residential Sales After Solar Farm Built

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Dist.
Adjoins	1126 Don Wayne	0.47	5/16/2018	\$160,000	1971	1,900	\$84.21	3/2.5	2-Car	Ranch	Brick,FinBsmnt	310
Not	70 Sterling Dr	0.32	8/2/2018	\$137,500	1960	1,800	\$76.39	3/1.5	1-Car	Ranch	Brick	
Not	3565 Garden Dr	0.34	5/15/2019	\$165,000	1960	2,102	\$78.50	3/1.5	2-Car	Ranch	Brick	
Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	
Adjoins	1126 Don Wayne								\$160,000		-3%	
Not	70 Sterling Dr	-\$603		\$7,563	\$6,111	\$10,000	\$5,000		\$165,571	-3%		
Not	3565 Garden Dr	-\$3,374		\$9,075	-\$12,685	\$5,000			\$163,016	-2%		

Next I looked at Parcel 11, 1138 Don Wayne Drive, that sold in August 2019. I have compared this to three similar sales as shown below. I attributed no value to the pool at 1138 Don Wayne Drive.

Adjoining Residential Sales After Solar Farm Built

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Dist.
Adjoins	1138 Don Wayne	0.47	8/28/2019	\$191,000	1975	2,128	\$89.76	4/1.5	2-Car	2-Story	Brick	380
Not	1331 W Genessee	0.45	10/25/2019	\$160,707	1940	1,955	\$82.20	4/1.5	Drive	1.5 Story	Vinyl/UnBsmnt	
Not	1128 Gwen Dr	0.47	8/24/2018	\$187,500	1973	2,040	\$91.91	3/2.5	2-Car	2 Story	Brick/UnBsmnt	
Not	1227 Oakridge	1.05	6/11/2017	\$235,000	1980	2,500	\$94.00	4/2.5	2-Car	2 Story	Brk/PFinBsmnt	
Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	
Adjoins	1138 Don Wayne								\$191,000		-1%	
Not	1331 W Genessee	-\$524		\$16,874	\$11,377		\$10,000		\$198,434	-4%		
Not	1128 Gwen Dr	\$3,887		\$1,875	\$6,471	-\$10,000			\$189,733	1%		
Not	1227 Oakridge	\$10,667	-\$10,000	-\$5,875	-\$27,974	-\$10,000			\$191,818	0%		

Parcel 13, 1168 Alice Drive, sold in October 2019. I spoke with Tanya Biernat the buyer's agent who handled that sale and she indicated that the property was placed on the market below market for a fast sale by the sellers. The buyers expressed no concern regarding the adjacent solar farm and it had no impact on marketing or selling the property, though it did sell for a low price. I also spoke with Chantel Fink's office, the selling agent. They confirmed that the solar farm was not an issue in the sales price or marketing of the property. Given that this sale was noted as below market for a fast sale, I have not attempted to set it up as a matched pair.

Parcel 14, 1174 Alice Drive, sold in January 2019. I have compared that sale to three similar properties as shown below. I included 1135 Gwen Drive as a nearby comparable, but it is not a good comparable. According to the broker, Paul Coulter, that home had many recent and significant upgrades that made it superior to similar housing in the neighborhood. It is notably the highest sales price in the neighborhood. I have shown that one but I made no adjustment for those upgrades, but I won't rely on that sale for the matched pairs. I consider the 1127 Don Wayne Drive comparable to be a more reasonable comparison. I spoke with Chris Fergusson the broker for that sale who confirmed that it was arm's length and that while across Don Wayne Drive from the homes that adjoin the solar farm, this home had no view of the solar farm and was not an issue in marketing this home.

Adjoining Residential Sales After Solar Farm Built

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Dist.
Adjoins	1174 Alice Dr	0.54	1/14/2019	\$165,000	1973	1,400	\$117.86	3/1.5	2-Car	Ranch	Brick/Fin Bsmt	280
Not	1127 Don Wayne	0.51	9/23/2019	\$176,900	1974	1,452	\$121.83	3/2	2-Car	Ranch	Brick/Ufin Bsmt	
Not	1135 Gwen Dr	0.43	7/26/2019	\$205,000	1967	1,671	\$122.68	3/2	2-Car	Ranch	Brick/Ufin Bsmt	
Not	1160 Beth Dr	0.46	6/20/2019	\$147,500	1970	1,482	\$99.53	4/1.5	2-Car	Ranch	Brick/Fin Bsmt	

Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff
Adjoins	1174 Alice Dr								\$165,000		2%
Not	1127 Don Wayne	-\$2,504		-\$885	-\$5,068	-\$5,000			\$163,443	1%	
Not	1135 Gwen Dr	-\$2,223		\$6,150	-\$26,597	-\$5,000			\$177,330	-7%	
Not	1160 Beth Dr	-\$1,301		\$2,213	-\$6,529				\$141,883	14%	

The four matched pairs identified show a range of -3% to +2% based on the average difference for each set of matched pairs. This is a very similar range I have found in most sales adjoining solar farms and strongly supports the assertion that the solar farm is not having a negative impact on adjoining property values.

Furthermore, two brokers active in the sale of a home adjoining the solar farm both confirmed that Parcel 13 was not impacted by the presence of the solar farm on the adjacent tract.

36. Matched Pair – Turrill Solar, Turrill Road, Lapeer, MI



This solar farm is located on approximately 230 acres with a 19.6 MW output. This was built in 2017.

I have identified several home sales adjoining this solar farm on the west side of this solar farm on Cliff Drive.

The first is 1060 Cliff Drive that sold in September 2018. I compared this to multiple nearby home sales as shown below.

Adjoining Residential Sales After Solar Farm Built

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
Adjoins	1060 Cliff Dr	1.03	9/14/2018	\$200,500	1970	2,114	\$94.84	4/2.5	2-Car	2 Story	Brick	290
Not	1331 W Genessee	0.45	10/25/2019	\$160,707	1940	1,955	\$82.20	4/1.5	Drive	1.5 Story	Vinyl/Unfin Bsmt	
Not	1128 Gwen Dr	0.47	8/24/2018	\$187,500	1973	2,040	\$91.91	3/2.5	2-Car	2 Story	Brick/Unfin Bsmt	
Not	1227 Oakridge	1.05	6/11/2017	\$235,000	1980	2,500	\$94.00	4/2.5	2-Car	2 Story	Brk/Prt Fin Bsmt	

Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff
Adjoins	1060 Cliff Dr								\$200,500		-2%
Not	1331 W Genessee	-\$3,666	\$10,000	\$14,464	\$10,456	\$10,000	\$10,000		\$211,961	-6%	
Not	1128 Gwen Dr	\$221	\$10,000	-\$2,813	\$5,441				\$200,350	0%	
Not	1227 Oakridge	\$6,073		-\$11,750	-\$29,027				\$200,296	0%	

Next I considered 1040 Cliff Drive as shown below. Comparing to the 1127 Don Wayne Drive, I show no impact. I included 1135 Gwen Drive as a nearby comparable, but it is not a good comparable. According to the broker, Paul Coulter, that home had many recent and significant upgrades that made it superior to similar housing in the neighborhood. It is notably the highest sales price in the neighborhood. I have shown that one but I made no adjustment for those upgrades, but I won't rely on that sale for the matched pairs. This leaves 1127 Don Wayne Drive which shows no impact and 1160 Beth Drive, which had the fewest adjustments shows a 12% premium or enhancement for adjoining the solar farm. I consider the Don Wayne Drive match up to be the better of these two comparables even with a higher number of adjustments.

Adjoining Residential Sales After Solar Farm Built

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other	Distance
Adjoins	1040 Cliff Dr	1.03	6/29/2017	\$145,600	1960	1,348	\$108.01	3/1.5	3-Car	Ranch	Brick/Wrkshp	255
Not	1127 Don Wayne	0.51	9/23/2019	\$176,900	1974	1,452	\$121.83	3/2	2-Car	Ranch	Brick/Ufin Bsmt	
Not	1135 Gwen Dr	0.43	7/26/2019	\$205,000	1967	1,671	\$122.68	3/2	2-Car	Ranch	Brick/Ufin Bsmt	
Not	1160 Beth Dr	0.46	6/20/2019	\$147,500	1970	1,482	\$99.53	4/1.5	2-Car	Ranch	Brick/Fin Bsmt	

Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff
Adjoins	1040 Cliff Dr								\$145,600		1%
Not	1127 Don Wayne	-\$8,110		-\$12,383	-\$10,136	-\$5,000	\$5,000		\$146,271	0%	
Not	1135 Gwen Dr	-\$8,718		-\$7,175	-\$31,701	-\$5,000	\$5,000		\$157,406	-8%	
Not	1160 Beth Dr	-\$5,975		-\$7,375	-\$10,669		\$5,000		\$128,481	12%	

The two matched pairs identified show a range of -2% to +1% based on the average difference for each set of matched pairs. This is a very similar range I have found in most sales adjoining solar farms and strongly supports the assertion that the solar farm is not having a negative impact on adjoining property values.

37. Matched Pair – Sunfish Farm, Keenebec Rd, Willow Spring, NC



This project was built in 2015 and located on 49.6 acres (with an inset 11.25 acre parcel) for a 6.4 MW project with the closest home at 135 feet with an average distance of 105 feet.

I considered the 2017 sale identified on the map above, which is 205 feet away from the closest panel. The matched pairs for each of these are shown below followed by a more recent map showing the panels at this site. The average difference in the three comparables and the subject property is +3% after adjusting for differences in the sales date, year built, gross living area, and other minor differences. This data is supported by the comments from the broker Brian Schroepfer with Keller Williams that the solar farm had no impact on the purchase price.

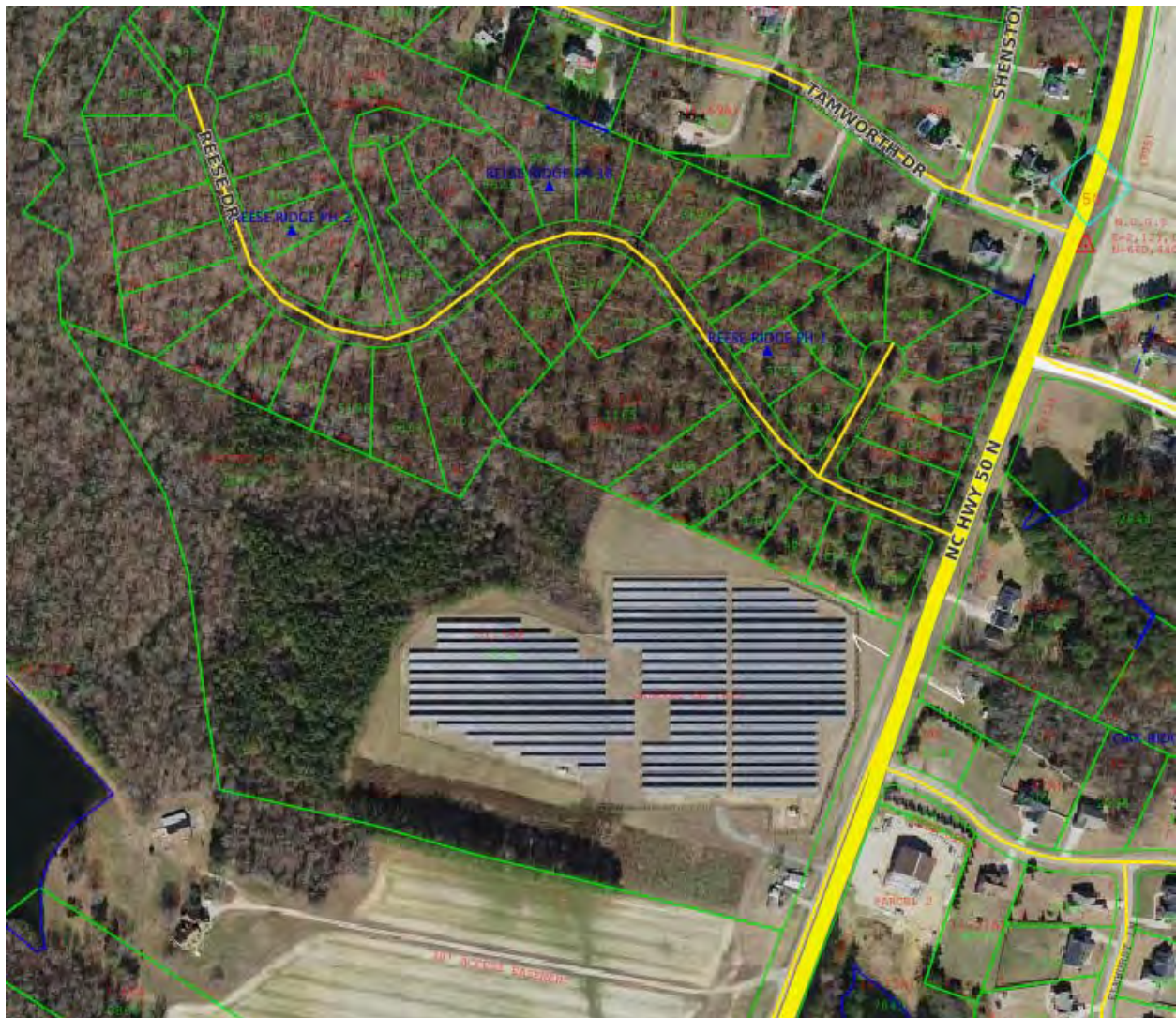
Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style
	Adjoins	7513 Glen Willow	0.79	9/1/2017	\$185,000	1989	1,492	\$123.99	3/2	Gar	BR/Rnch
	Not	2968 Tram	0.69	7/17/2017	\$155,000	1984	1,323	\$117.16	3/2	Drive	BR/Rnch
	Not	205 Pine Burr	0.97	12/29/2017	\$191,000	1991	1,593	\$119.90	3/2.5	Drive	BR/Rnch
	Not	1217 Old Honeycutt	1.00	12/15/2017	\$176,000	1978	1,558	\$112.97	3/2.5	2Carprt	VY/Rnch

Adjustments

[illegible]

38. Matched Pair – HCE Johnston I, LLC, Benson, NC



This 2.6 MW project was built in 2015 and located on 30.55 acres.

There is a new subdivision that was developed in 2019 just north of this solar farm called Reese's Ridge. This location is near the McGees Crossroads near Mount Pleasant Road. As can be seen in the map below, the adjoining land to the north of this solar farm was purchased in 2017 and subdivided as Reese Ridge with 0.49 to 0.53 acre lots. Most of the trees on this site were cleared as part of the development with a single row of pine trees retained as a buffer along the solar farm. The first six lots on the south side of Reese Drive are around 115 feet from the center point in the lot to the nearest solar farm panel. This tract of land was purchased on September 7, 2017 for \$925,000 for 42.388 acres, or \$21,822 per acre.

The proposed homes will be custom homes starting at \$330,000. County water is available and the homes will use individual septic tanks. I spoke with Amanda with The Rodney Carroll Team who is marketing the homes and she indicated that 7 custom home builders had a lottery to purchase all of the lots.

Three different builders have purchased lots adjoining the solar farm for \$60,000 each. Similar lots across Reese Drive and further from the solar farm are selling at the same \$60,000 each. At

\$60,000 this indicates a lot-to-home ratio of 18%, which is typical for new home construction in the county where there is no amenity package.



Since then a home was built and then sold at 63 Reese Drive, which is two lots off of NC 50 and backs up to the solar farm. Similarly, 107 Reese Drive which is six lots off of NC 50 and backs up to the solar farm. I have considered both of these for matched pairs as shown below.

Adjoining Residential Sales After Solar Farm Built

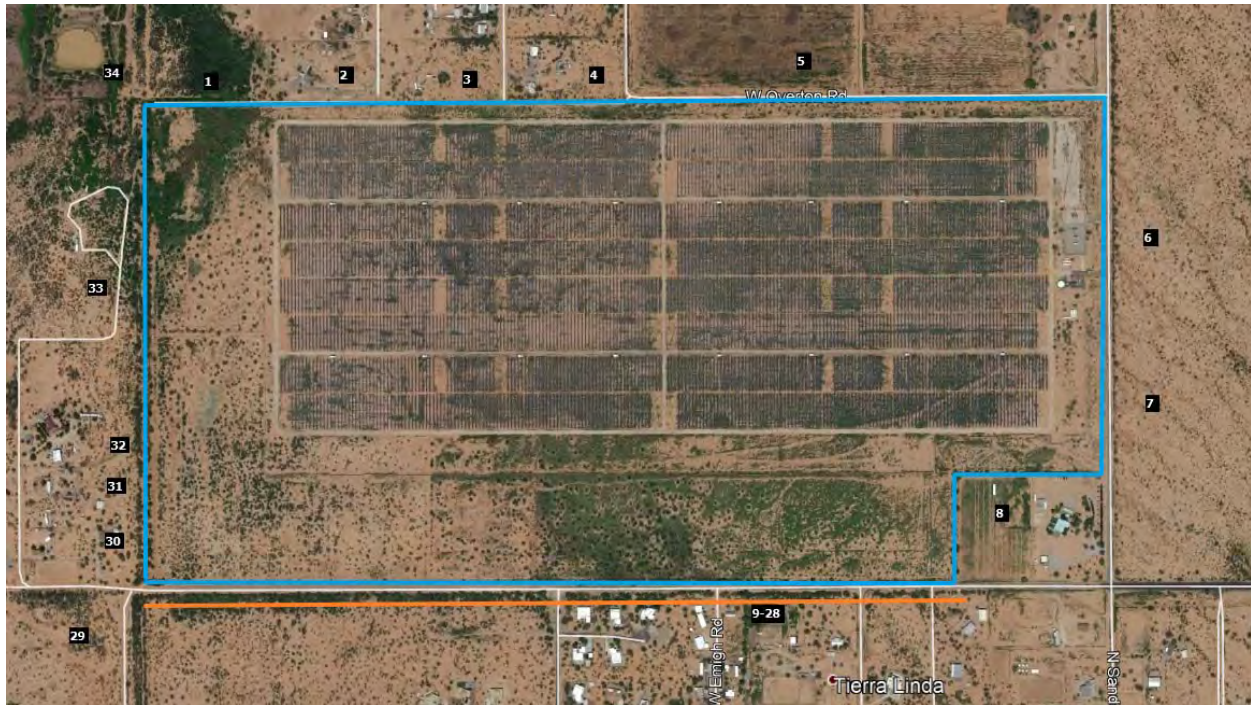
Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
	Adjoins	107 Reese Drive	0.69	11/27/2019	\$393,000	2019	2,960	\$132.77	3/3	2-Car	1.5 Vinyl	
	Not	200 Reese Drive	0.44	2/19/2020	\$400,000	2019	3,209	\$124.65	3/2.5	2-Car	1.5 Batten/Stone	
	Not	35 Pawnee Pl	0.65	5/30/2018	\$325,000	2017	2,609	\$124.57	4/3	2-Car	1.5 Vinyl/Stone	
	Not	278 Timber Wolf	0.88	1/24/2020	\$367,443	2019	2,983	\$123.18	3/3	2-Car	1.5 Vinyl/Stone	
												Avg
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff
	Adjoins	107 Reese Drive								\$393,000		5%
	Not	200 Reese Drive	-\$2,831		\$0	-\$24,830	\$5,000			\$377,338	4%	
	Not	35 Pawnee Pl	\$14,954		\$3,250	\$34,979				\$378,183	4%	
	Not	278 Timber Wolf	-\$1,796		\$0	-\$2,266				\$363,381	8%	

Adjoining Residential Sales After Solar Farm Built

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
	Adjoins	63 Reese Drive	0.45	3/24/2020	\$410,000	2019	3,240	\$126.54	4/3	2-Car	Ranch/Wd	
	Not	200 Reese Drive	0.44	2/19/2020	\$400,000	2019	3,209	\$124.65	3/2.5	2-Car	1.5 Batten/Stone	
	Not	320 Wolf Den	0.97	9/27/2019	\$377,780	2019	3,122	\$121.01	4/3	2-Car	1.5 Vinyl/Stone	
	Not	37 Makers Way	0.59	5/29/2019	\$373,508	2019	3,122	\$119.64	4/3	3-Car	1.5 Vinyl/Stone	
												Avg
	Solar	Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff
	Adjoins	63 Reese Drive								\$410,000		3%
	Not	200 Reese Drive	\$1,146		\$0	\$2,705	\$5,000			\$408,851	0%	
	Not	320 Wolf Den	\$5,699		\$0	\$9,995				\$393,474	4%	
	Not	37 Makers Way	\$9,443		\$0	\$9,882		-\$5,000		\$387,833	5%	

After adjustments, the two sales support a conclusion of no impact on property value due to the solar farm. I spoke with Rodney Carroll the broker marketing the homes and he indicated that the solar farm had zero impact on the sales price and they were marketing it as the best neighbor you could have.

39. Picture Rocks, Tucson, Pima County, AZ



This solar farm was built in 2012 on a 302.80-acre tract but utilizing only 182 acres. This is a 20 MW facility with residential subdivision to the south and larger lot homes to the north, south and west.

I have identified two adjoining homes in the Tierra Linda subdivision that have sold recently in close proximity to the solar farm. They are written up as matched pairs below.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GLA	BR/BA	Park	Style	Other
14	Adjoins	12980 W Moss V	0.97	6/4/2020	\$393,900	2020	2,241	\$175.77	4/3	3-Gar	Adobe	Crtyrd
	Not	13071 W Smr Ppy	0.85	2/26/2020	\$389,409	2019	2,231	\$174.54	4/3	3-Gar	Adobe	Crtyrd
	Not	13352 W Tgr Aloe	1.07	3/31/2020	\$389,300	2015	2,555	\$152.37	4/3	3-Gar	Adobe	Crtyrd
	Not		0.97	8/2/2020	\$410,000	2018	2,688	\$152.53	4/2	3-Gar	Adobe	Crtyrd

Adjoining Sales Adjusted

Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
							\$393,900			1100
\$3,249		\$1,947	\$1,396				\$396,001	-1%		
\$2,132		\$9,733	-\$38,275				\$362,890	8%		
-\$2,038		\$4,100	-\$54,545	\$10,000			\$367,517	7%		
									5%	

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GLA	BR/BA	Park	Style	Other
15	Adjoins	12986 W Moss V	1.00	6/27/2019	\$350,000	2006	2,660	\$131.58	4/3.5	3-Gar	Adobe	Crtyrd
	Not	12994 W Btr Bsh	0.92	5/24/2018	\$302,000	2007	2,410	\$125.31	4/3	3-Gar	Adobe	Crtyrd
	Not	12884W Zbra Aloe	0.83	1/29/2020	\$336,500	2007	2,452	\$137.23	4/3	3-Gar	Adobe	Crtyrd
	Not	12829W Smr Ppy	0.88	6/2/2020	\$317,500	2006	2,452	\$129.49	4/3	3-Gar	Adobe	Crtyrd

Adjoining Sales Adjusted									Avg	
Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff	Distance
							\$350,000			970
\$10,154		-\$1,510	\$25,062	\$5,000			\$340,707	3%		
-\$6,125		-\$1,683	\$22,836	\$5,000			\$356,528	-2%		
-\$9,124		\$0	\$21,546	\$5,000			\$334,923	4%		
									2%	

I have also looked at a recent sale of a manufactured home in close proximity to this solar farm for an additional matched pairs. This home included a 2,200 s.f. detached metal building used as a garage/workshop that I adjusted based on Marshall Swift Cost Estimating Service values for a depreciated metal building.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GLA	BR/BA	Park	Style	Other
9	Adjoins	12705 W Emigh	2.26	1/27/2019	\$255,000	1994	2,640	\$96.59	3/2	Det 4Car	Ranch	Horse
	Not	12715 W Emigh	2.50	5/30/2019	\$210,000	2005	2,485	\$84.51	4/2	Crprt	Ranch	Horse
	Not	12020 W Camper	1.81	9/15/2019	\$200,000	2006	2,304	\$86.81	4/2	Open	Ranch	Horse
	Not	12445 W Emigh	5.00	10/2/2018	\$210,000	1999	2,400	\$87.50	4/2	Open	Ranch	Horse

Adjoining Sales Adjusted									Avg	
Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff	Distance
							\$255,000			990
-\$2,177		-\$11,550	\$10,479		\$46,000	\$0	\$252,752	1%		
-\$3,893		-\$12,000	\$23,333		\$50,000	\$0	\$257,440	-1%		
\$2,071	-\$25,000	-\$5,250	\$16,800		\$50,000	\$0	\$248,621	3%		
									1%	

These matched pairs range from 970 to 1,100 feet from the closest solar panel and shows no negative impact due to proximity to the solar farm. The average measured impacts range from +1% to +5%, which is within a typical variation for real estate and supports a conclusion of no impact.

40. Avra Valley, Tucson, Pima County, AZ



This solar farm was built in 2013 on a 319.86-acre tract but utilizing only 246 acres. This is a 25 MW facility with residential uses to the west.

I have identified two sales of manufactured homes that are in close proximity to this solar farm and I have analyzed them as shown below.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GLA	BR/BA	Park	Style
	Adjoins	9415 N Ghst Rnch	4.40	10/30/2018	\$131,000	2004	1,508	\$86.87	3/1.5	Det Gar	Manuf
	Not	8240 N Msq Oasis	20.01	2/16/2018	\$145,000	2008	1,232	\$117.69	3/1.5	Open	Manuf
	Not	7175 N Nlsn Quih.	5.00	3/26/2019	\$136,000	2000	1,568	\$86.73	3/2	Open	Manuf
	Not	5536 N Squeak	1.12	7/26/2018	\$114,100	2003	1,512	\$75.46	4/1.5	Open	Manuf

Adjoining Sales Adjusted

[illegible]

Adjoining Residential Sales After Solar Farm Approved

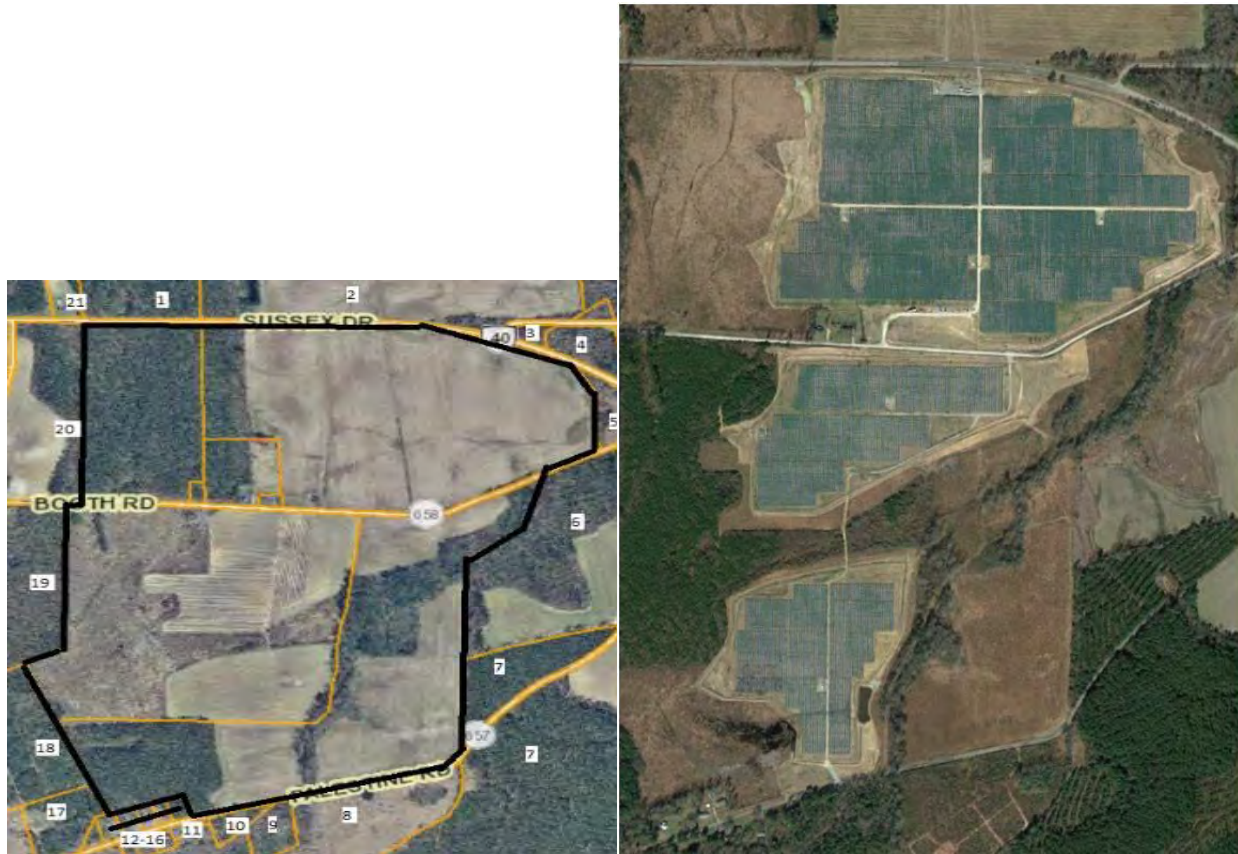
Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GLA	BR/BA	Park	Style
	Adjoins	14441 W Stallion	4.40	12/21/2017	\$150,000	2002	2,280	\$65.79	3/3.5	Open	Manuf
	Not	9620 N Rng Bck	4.14	3/24/2019	\$139,000	2003	2,026	\$68.61	4/3	Open	Manuf
	Not	5537 N Whitetail	1.38	9/26/2018	\$148,000	2006	2,037	\$72.66	4/3	Open	Manuf
	Not	5494 N Puma	1.38	12/6/2017	\$138,900	2000	2,044	\$67.95	4/3	Open	Manuf

Adjoining Sales Adjusted

Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	Avg % Diff	Distance
							\$150,000			1467
-\$5,365		-\$695	\$10,456				\$143,396	4%		
-\$3,480	\$5,000	-\$2,960	\$10,593				\$157,154	-5%		
\$176	\$5,000	\$1,389	\$9,622				\$155,087	-3%		
									-1%	

These matched pairs range from 1,467 to 1,697 feet from the closest solar panel and shows no negative impact due to proximity to the solar farm. The average measured impacts range from -1% to 0%, which is within a typical variation for real estate and supports a conclusion of no impact.

41. Matched Pair – Sappony Solar, Sussex County, VA



This project is a 30 MW facility located on a 322.68-acre tract that was built in the fourth quarter of 2017.

I have considered the 2018 sale of Parcel 17 as shown below.

Adjoining Residential Sales After Solar Farm Approved

Parcel	Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GLA	BR/BA	Park	Style	Other
	Adjoins	12511 Palestine	6.00	7/31/2018	\$128,400	2013	1,900	\$67.58	4/2.5	Open	Manuf	
	Not	15698 Concord	3.92	7/31/2018	\$150,000	2010	2,310	\$64.94	4/2	Open	Manuf	Fence
	Not	23209 Sussex	1.03	7/7/2020	\$95,000	2005	1,675	\$56.72	3/2	Det Crpt	Manuf	
	Not	6494 Rocky Br	4.07	11/8/2018	\$100,000	2004	1,405	\$71.17	3/2	Open	Manuf	

Adjoining Sales Adjusted

[illegible]

42. Matched Pair – Camden Dam, Camden, NC



This 5 MW project was built in 2019 and located on a portion of 49.83 acres.

Parcel 1 noted above along with the home on the adjoining parcel to the north of that parcel sold in late 2018 after this solar farm was approved but prior to construction being completed in 2019. I have considered this sale as shown below.

The comparable at 548 Trotman is the most similar and required the least adjustment shows no impact on property value. The other two comparables were adjusted consistently with one showing significant enhancement and another as showing a mild negative. The best indication is the one requiring the least adjustment. The other two sales required significant site adjustments which make them less reliable. The best comparable and the average of these comparables support a finding of no impact on property value.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GLA	BR/BA	Park	Style	Other
Adjoins	122 N Mill Dam	12.19	11/29/2018	\$350,000	2005	2,334	\$149.96	3/3.5	3-Gar	Ranch	
Not	548 Trotman	12.10	5/31/2018	\$309,000	2007	1,960	\$157.65	4/2	Det2G	Ranch	Wrkshp
Not	198 Sand Hills	2.00	12/22/2017	\$235,000	2007	2,324	\$101.12	4/3	Open	Ranch	
Not	140 Sleepy Hlw	2.05	8/12/2019	\$330,000	2010	2,643	\$124.86	4/3	1-Gar	1.5 Story	

Adjoining Sales Adjusted

Adjoining Sales Adjusted										Avg	
Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff	Distance
122 N Mill Dam								\$350,000			342
548 Trotman	\$4,739		-\$3,090	\$35,377	\$5,000			\$351,027	0%		
198 Sand Hills	\$6,773	\$45,000	-\$2,350	\$607		\$30,000		\$315,029	10%		
140 Sleepy Hlw	-\$7,119	\$45,000	-\$8,250	-\$23,149	\$5,000	\$30,000		\$371,482	-6%		

1%

43. Matched Pair – Grandy Solar, Grandy, NC



This 20 MW project was built in 2019 and located on a portion of 121 acres.

Parcels 40 and 50 have sold since construction began on this solar farm. I have considered both in matched pair analysis below. I note that the marketing for Parcel 40 (120 Par Four) identified the lack of homes behind the house as a feature in the listing. The marketing for Parcel 50 (269 Grandy) identified the property as “very private.”

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GLA	BR/BA	Park	Style	Other
Adjoins	120 Par Four	0.92	8/17/2019	\$315,000	2006	2,188	\$143.97	4/3	2-Gar	1.5 Story	Pool
Not	102 Teague	0.69	1/5/2020	\$300,000	2005	2,177	\$137.80	3/2	Det 3G	Ranch	
Not	112 Meadow Lk	0.92	2/28/2019	\$265,000	1992	2,301	\$115.17	3/2	Gar	1.5 Story	
Not	116 Barefoot	0.78	9/29/2020	\$290,000	2004	2,192	\$132.30	4/3	2-Gar	2 Story	

Adjoining Sales Adjusted

[illegible]

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GLA	BR/BA	Park	Style	Other
Adjoins	269 Grandy	0.78	5/7/2019	\$275,000	2019	1,535	\$179.15	3/2.5	2-Gar	Ranch	
Not	307 Grandy	1.04	10/8/2018	\$240,000	2002	1,634	\$146.88	3/2	Gar	1.5 Story	
Not	103 Branch	0.95	4/22/2020	\$230,000	2000	1,532	\$150.13	4/2	2-Gar	1.5 Story	
Not	103 Spring Lf	1.07	8/14/2018	\$270,000	2002	1,635	\$165.14	3/2	2-Gar	Ranch	Pool

Adjoining Sales Adjusted

Address	Time	Site	YB	GLA	BR/BA	Park	Other	Total	% Diff	% Diff	Distance
269 Grandy								\$275,000			477
307 Grandy	\$4,267		\$20,400	-\$8,725	\$5,000	\$10,000		\$270,943	1%		
103 Branch	-\$6,803		\$21,850	\$270				\$245,317	11%		
103 Spring Lf	\$6,052		\$22,950	-\$9,908	\$5,000		-\$20,000	\$274,094	0%		
										4%	

Both of these matched pairs support a finding of no impact on value. This is reinforced by the listings for both properties identifying the privacy due to no housing in the rear of the property as part of the marketing for these homes.

44. Matched Pair – Champion Solar, Lexington County, SC



This project is a 10 MW facility located on a 366.04-acre tract that was built in 2017.

I have considered the 2020 sale of an adjoining home located off 517 Old Charleston Road.

Adjoining Residential Sales After Solar Farm Approved

Solar	Address	Acres	Date Sold	Sales Price	Built	GBA	\$/GBA	BR/BA	Park	Style	Other
Adjoins	517 Old Charleston	11.05	8/25/2020	\$110,000	1962	925	\$118.92	3/1	Crport	Br Rnch	
Not	133 Buena Vista	2.65	6/21/2020	\$115,000	1979	1,104	\$104.17	2/2	Crport	Br Rnch	
Not	214 Crystal Spr	2.13	6/10/2019	\$102,500	1970	1,025	\$100.00	3/2	Crport	Rnch	
Not	1429 Laurel	2.10	2/21/2019	\$126,000	1960	1,250	\$100.80	2/1.5	Open	Br Rnch	3 Gar/Brn

Adjoining Sales Adjusted

[illegible]

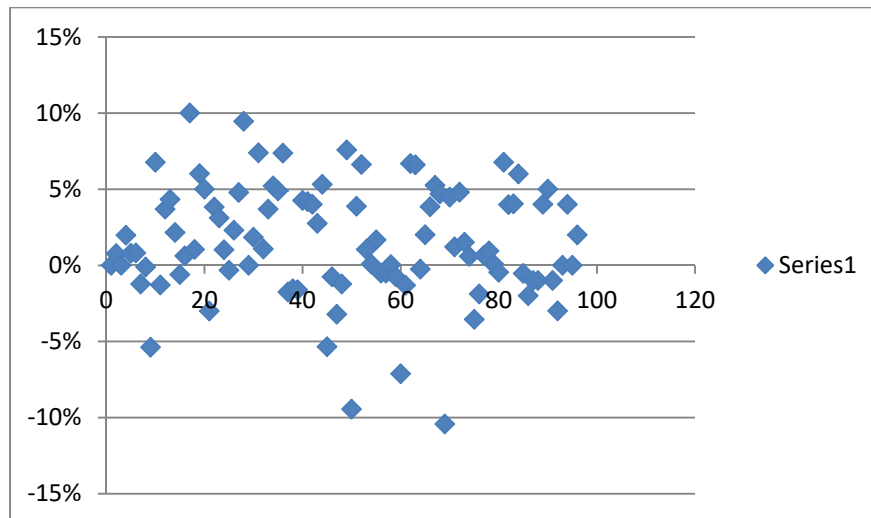
Conclusion

The solar farm matched pairs shown above have similar characteristics to each other in terms of population, but with several outliers showing solar farms in farm more urban areas. The median income for the population within 1 mile of a solar farm is \$63,665 with a median housing unit value of \$251,570. Most of the comparables are under \$400,000 in the home price, with \$770,000 being the high end of the set of matched pairs. The adjoining uses show that residential and agricultural uses are the predominant adjoining uses. These figures are in line with the larger set of solar farms that I have looked at with the predominant adjoining uses being residential and agricultural and similar to the solar farm breakdown shown for South Carolina and the proposed subject property.

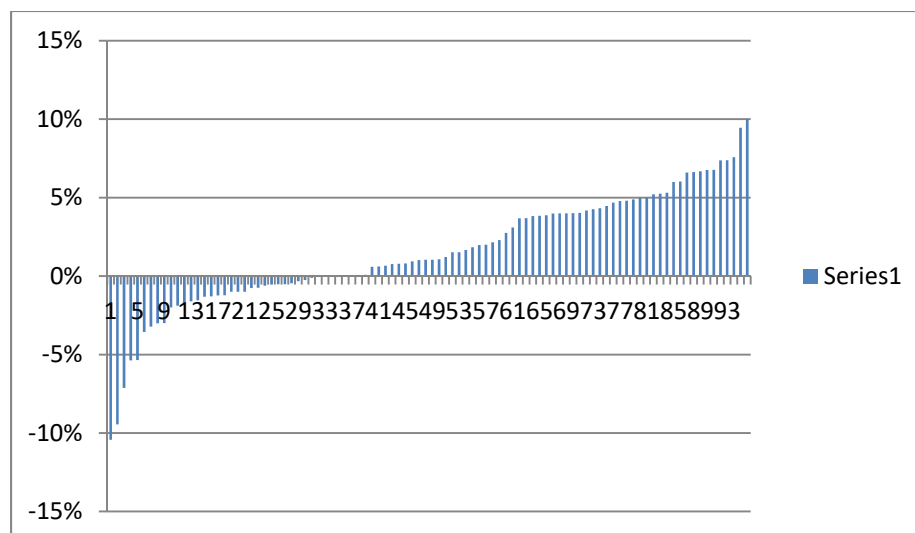
Matched Pair Summary						Adj. Uses By Acreage					1 mile Radius (2010-2020 Data)		
	Name	City	State	Acres	MW	Topo Shift	Res	Ag/Res	Ag	Com/Ind	Population	Med. Income	Avg. Housing Unit
1	AM Best	Goldsboro	NC	38	5.00	2	38%	23%	0%	39%	1,523	\$37,358	\$148,375
2	White Cross	Chapel Hill	NC	45	5.00	50	5%	51%	44%	0%	213	\$67,471	\$319,929
3	Wagstaff	Roxboro	NC	30	5.00	46	7%	89%	4%	0%	336	\$41,368	\$210,723
4	Mulberry	Selmer	TN	160	5.00	60	13%	10%	73%	3%	467	\$40,936	\$171,746
5	Nixon's	W. Friendship	MD	97	2.00	40	79%	4%	17%	0%	939	\$166,958	\$770,433
6	Leonard	Hughesville	MD	47	5.00	20	18%	0%	75%	6%	525	\$106,550	\$350,000
7	Talbot	Easton	MD	50	0.55	0	81%	0%	19%	0%	536	\$47,136	\$250,595
8	Alamo II	Converse	TX	98	4.40	30	95%	0%	5%	0%	9,257	\$62,363	\$138,617
9	Gastonia SC	Gastonia	NC	35	5.00	48	33%	23%	0%	44%	4,689	\$35,057	\$126,562
10	Summit	Moyock	NC	2,034	80.00	4	4%	94%	0%	2%	382	\$79,114	\$281,731
11	White Cross II	Chapel Hill	NC	34	2.80	35	25%	75%	0%	0%	213	\$67,471	\$319,929
12	Tracy	Bailey	NC	50	5.00	10	29%	71%	0%	0%	312	\$43,940	\$99,219
13	Manatee	Parrish	FL	1,180	75.00	20	2%	1%	97%	0%	48	\$75,000	\$291,667
14	McBride	Midland	NC	627	75.00	140	12%	78%	10%	0%	398	\$63,678	\$256,306
15	Yamhill II	Amity	OR	186	1.20	20	2%	0%	97%	1%	97	\$58,248	\$342,391
16	Marion	Aurora	OR	32	0.30	0	2%	37%	61%	0%	267	\$75,355	\$370,833
17	Clackamas II	Aurora	OR	156	0.22	0	7%	25%	68%	0%	3,062	\$70,911	\$464,501
18	Grand Ridge	Streator	IL	160	20.00	1	8%	5%	87%	0%	96	\$70,158	\$187,037
19	Portage	Portage	IN	56	2.00	0	19%	0%	81%	0%	6,642	\$65,695	\$186,463
20	Dominion	Indianapolis	IN	134	8.60	20	3%	0%	97%	0%	3,774	\$61,115	\$167,515
21	Beetle-Shelby	Shelby	NC	24	4.00	52	22%	0%	77%	1%	218	\$53,541	\$192,692
22	Courthouse	Bessemer	NC	52	5.00	150	48%	52%	0%	0%	551	\$45,968	\$139,404
23	Mariposa	Stanley	NC	36	5.00	96	48%	52%	0%	0%	1,716	\$36,439	\$137,884
24	Clarke Cnty	White Post	VA	234	20.00	70	14%	46%	39%	1%	578	\$81,022	\$374,453
25	Flemington	Flemington	NJ	120	9.36	N/A	13%	28%	50%	8%	3,477	\$105,714	\$444,696
26	Frenchtown	Frenchtown	NJ	139	7.90	N/A	37%	29%	35%	0%	457	\$111,562	\$515,399
27	McGraw	East Windsor	NJ	95	14.00	N/A	27%	0%	44%	29%	7,684	\$78,417	\$362,428
28	Tinton Falls	Tinton Falls	NJ	100	16.00	N/A	98%	0%	0%	2%	4,667	\$92,346	\$343,492
29	Simon	Social Circle	GA	237	30.00	71	1%	36%	63%	0%	203	\$76,155	\$269,922
30	Candace	Princeton	NC	54	5.00	22	76%	0%	24%	0%	448	\$51,002	\$107,171
31	Crittenden	Crittenden	KY	34	2.70	40	22%	27%	51%	0%	1,419	\$60,198	\$178,643
32	Walker	Barhamsville	VA	485	20.00	N/A	12%	20%	68%	0%	203	\$80,773	\$320,076
33	Innov 46	Hope Mills	NC	532	78.50	0	17%	0%	83%	0%	2,247	\$58,688	\$183,435
34	Innov 42	Fayetteville	NC	414	71.00	0	41%	0%	59%	0%	568	\$60,037	\$276,347
35	Demille	Lapeer	MI	160	28.40	10	10%	0%	68%	22%	2,010	\$47,208	\$187,214
36	Turrill	Lapeer	MI	230	19.60	10	75%	0%	59%	25%	2,390	\$46,839	\$110,361
37	Sunfish	Willow Spring	NC	50	6.40	30	35%	30%	35%	0%	1,515	\$63,652	\$253,138
38	HCE Johnston	Benson	NC	30	2.60	0	55%	45%	0%	0%	1,169	\$65,482	\$252,544
39	Picture Rocks	Tucson	AZ	182	20.00	N/A	6%	6%	88%	0%	102	\$81,081	\$280,172
40	Avra Valley	Tucson	AZ	246	25.00	N/A	3%	3%	94%	0%	85	\$80,997	\$292,308
41	Sappony	Stony Crk	VA	322	20.00	N/A	2%	0%	98%	0%	74	\$51,410	\$155,208
42	Camden Dam	Camden	NC	50	5.00	0	17%	11%	72%	0%	403	\$84,426	\$230,288
43	Grandy	Grandy	NC	121	20.00	10	55%	0%	24%	21%	949	\$50,355	\$231,408
44	Champion	Pelion	SC	100	10.00	N/A	4%	8%	70%	18%	1,336	\$46,867	\$171,939
Average				211	17.10	32	28%	22%	46%	5%	1,551	\$66,956	\$260,573
Median				100	5.70	20	18%	9%	51%	0%	544	\$63,665	\$251,570
High				2,034	80.00	150	98%	94%	98%	44%	9,257	\$166,958	\$770,433
Low				24	0.22	0	1%	0%	0%	0%	48	\$35,057	\$99,219
1 Mile Radius	Drifton	FL	315	70	302	6%	2%	90%	2%		31	\$41,547	\$229,545
3 Mile Radius	Drifton	FL	315	70	302	6%	2%	90%	2%		1,793	\$41,711	\$212,102

I have pulled 96 matched pairs from the above referenced solar farms to provide the following summary of home sale matched pairs and land sales next to solar farms. The summary shows that the range of differences is from -10% to +10% with an average of +1% and median of +1%. This means that the average and median impact is for a slight positive impact due to adjacency to a solar farm. However, this 1% rate is within the typical variability I would expect from real estate. I therefore conclude that this data shows no negative or positive impact due to adjacency to a solar farm.

While the range is seemingly wide, the graph below clearly shows that the vast majority of the data falls between -5% and +5% and most of those are clearly in the 0 to +5% range.



Arranging the data points in order of impact, I get the following chart that shows only 3 matched pairs out of 96 identifying impacts greater than -5% and only 22 more out of 96 between -5% and -1%. This leaves 71 out of 96 matched pairs showing positive impacts from 0 to +10%, or 74% of the total matched pairs. However, given that +/- 5% is considered no impact, that would include 82 of the 96 matched pairs, or 85% of the findings supporting a finding of no impact. The other readings are considered outliers with only 3 suggesting a negative impact and 11 suggesting a positive impact.



The breakdown for the 96 residential matched pairs is summarized below and the breakdown shown on the following pages.

Residential Dwelling Matched Pairs Adjoining Solar Farms

Pair	Solar Farm	City	State	Area	MW	Approx Distance	Tax ID/Address	Sale Date	Sale Price	Adj. Sale Price	% Diff
1	AM Best	Goldsboro	NC	Suburban	5	280	3600195570	Sep-13	\$250,000		
							3600198928	Mar-14	\$250,000	\$250,000	0%
2	AM Best	Goldsboro	NC	Suburban	5	280	3600195361	Sep-13	\$260,000		
							3600194813	Apr-14	\$258,000	\$258,000	1%
3	AM Best	Goldsboro	NC	Suburban	5	280	3600199891	Jul-14	\$250,000		
							3600198928	Mar-14	\$250,000	\$250,000	0%
4	AM Best	Goldsboro	NC	Suburban	5	280	3600198632	Aug-14	\$253,000		
							3600193710	Oct-13	\$248,000	\$248,000	2%
5	AM Best	Goldsboro	NC	Suburban	5	280	3600196656	Dec-13	\$255,000		
							3601105180	Dec-13	\$253,000	\$253,000	1%
6	AM Best	Goldsboro	NC	Suburban	5	280	3600182511	Feb-13	\$247,000		
							3600183905	Dec-12	\$240,000	\$245,000	1%
7	AM Best	Goldsboro	NC	Suburban	5	280	3600182784	Apr-13	\$245,000		
							3600193710	Oct-13	\$248,000	\$248,000	-1%
8	AM Best	Goldsboro	NC	Suburban	5	280	3600195361	Nov-15	\$267,500		
							3600195361	Sep-13	\$260,000	\$267,800	0%
9	Mulberry	Selmer	TN	Rural	5	400	0900A011	Jul-14	\$130,000		
							099CA043	Feb-15	\$148,900	\$136,988	-5%
10	Mulberry	Selmer	TN	Rural	5	400	099CA002	Jul-15	\$130,000		
							0990NA040	Mar-15	\$120,000	\$121,200	7%
11	Mulberry	Selmer	TN	Rural	5	480	491 Dusty	Oct-16	\$176,000		
							35 April	Aug-16	\$185,000	\$178,283	-1%
12	Mulberry	Selmer	TN	Rural	5	650	297 Country	Sep-16	\$150,000		
							53 Glen	Mar-17	\$126,000	\$144,460	4%
13	Mulberry	Selmer	TN	Rural	5	685	57 Cooper	Feb-19	\$163,000		
							191 Amelia	Aug-18	\$132,000	\$155,947	4%
14	Nixon's	W. Friendship	MD	Rural	2	660	12909 Vistaview	Sep-14	\$775,000	\$771,640	
							2712 Friendship Farm	Jun-14	\$690,000	\$755,000	2%
15	Leonard Rd	Hughesville	MD	Rural	5.5	230	14595 Box Elder	Feb-16	\$291,000		
							15313 Bassford Rd	Jul-16	\$329,800	\$292,760	-1%
16	Talbot Cnty	Easton	MD	Rural	0.55	1000	10193 Hiners	Oct-12	\$136,092		
							10711 Hiners	Dec-12	\$135,000	\$135,250	1%
17	Alamo II	San Antonio	TX	Suburban	4.4	360	7703 Redstone Mnr	Mar-16	\$166,000		
							7703 Redstone Mnr	Oct-12	\$149,980	\$165,728	0%
18	Alamo II	San Antonio	TX	Suburban	4.4	170	7807 Redstone Mnr	Aug-14	\$147,000		
							7807 Redstone Mnr	May-12	\$136,266	\$145,464	1%
19	Alamo II	San Antonio	TX	Suburban	4.4	150	7734 Sundew Mist	Nov-14	\$134,000		
							7734 Sundew Mist	May-12	\$117,140	\$125,928	6%
20	Neal Hawkins	Gastonia	NC	Suburban	5	225	609 Neal Hawkins	Mar-17	\$270,000		
							1418 N Modena	Apr-18	\$225,000	\$257,290	5%
21	Summit	Moyock	NC	Suburban	80	1,060	129 Pinto	Apr-16	\$170,000		
							102 Timber	Apr-16	\$175,500	\$175,101	-3%
22	Summit	Moyock	NC	Suburban	80	2,020	105 Pinto	Dec-16	\$206,000		
							127 Ranchland	Jun-15	\$219,900	\$198,120	4%
23	White Cross II	Chapel Hill	NC	Rural	2.8	1,479	2018 Elkins	Feb-16	\$340,000		
							4200B Old Greensbor	Dec-15	\$380,000	\$329,438	3%
24	Tracy	Bailey	NC	Rural	5	780	9162 Winters	Jan-17	\$255,000		
							7352 Red Fox	Jun-16	\$176,000	\$252,399	1%
25	Manatee	Parrish	FL	Rural	75	1180	13670 Highland	Aug-18	\$255,000		
							13851 Highland	Sep-18	\$240,000	\$255,825	0%
26	McBride Place	Midland	NC	Rural	75	275	4380 Joyner	Nov-17	\$325,000		
							3870 Elkwood	Aug-16	\$250,000	\$317,523	2%
27	McBride Place	Midland	NC	Rural	75	505	5811 Kristi	Mar-20	\$530,000		
							3915 Tania	Dec-19	\$495,000	\$504,657	5%
28	Yamhill II	Amity	OR	Rural	1.2	700	12001 SW Bellerus	Jul-15	\$326,456		
							9955 Bethel	Feb-16	\$289,900	\$295,593	9%
29	Clackamas II	Aurora	OR	Suburban	0.22	125	7620 SW Fairway	Jul-13	\$365,000		
							7480 SW Fairway	Jun-13	\$365,000	\$365,000	0%
30	Clackamas II	Aurora	OR	Suburban	0.22	125	7700 SW Fairway	Jun-14	\$377,100		
							7500 SW Fairway	Dec-11	\$365,000	\$370,175	2%

Pair	Solar Farm	City	State	Area	MW	Approx		Sale Date	Sale Price	Adj. Sale Price	% Diff
						Distance	Tax ID/Address				
31	Clackamas II	Aurora	OR	Suburban	0.22	125	7380 SW Fairway 7480 SW Fairway	Jul-14 Jun-13	\$415,000 \$365,000		
32	Grand Ridge	Streator	IL	Rural	20	480	1497 E 21st 712 Columbus	Oct-16 Jun-16	\$186,000 \$166,000	\$384,345 \$184,000	7% 1%
33	Portage	Portage	IN	Rural	2	1320	836 N 450 W 336 E 1050 N	Sep-13 Jan-13	\$149,800 \$155,000		4%
34	Dominion	Indianapolis	IN	Rural	8.6	400	2013249 (Tax ID) 5723 Minden	Dec-15 Nov-16	\$140,000 \$139,900		5%
35	Dominion	Indianapolis	IN	Rural	8.6	400	2013251 (Tax ID) 5910 Mosaic	Sep-17 Aug-16	\$160,000 \$146,000	\$152,190	5%
36	Dominion	Indianapolis	IN	Rural	8.6	400	2013252 (Tax ID) 5836 Sable	May-17 Jun-16	\$147,000 \$141,000	\$136,165	7%
37	Dominion	Indianapolis	IN	Rural	8.6	400	2013258 (Tax ID) 5904 Minden	Dec-15 May-16	\$131,750 \$130,000	\$134,068	-2%
38	Dominion	Indianapolis	IN	Rural	8.6	400	2013260 (Tax ID) 5904 Minden	Mar-15 May-16	\$127,000 \$130,000	\$128,957	-2%
39	Dominion	Indianapolis	IN	Rural	8.6	400	2013261 (Tax ID) 5904 Minden	Feb-14 May-16	\$120,000 \$130,000	\$121,930	-2%
40	Beetle-Shelby	Mooresboro	NC	Rural	4	945	1715 Timber 1021 Posting	Oct-18 Feb-19	\$416,000 \$414,000	\$398,276	4%
41	Courthouse	Bessemer	NC	Rural	5	375	2134 Tryon Court. 5550 Lennox	Mar-17 Oct-18	\$111,000 \$115,000	\$106,355	4%
42	Mariposa	Stanley	NC	Suburban	5	1155	215 Mariposa 110 Airport	Dec-17 May-16	\$249,000 \$166,000	\$239,026	4%
43	Mariposa	Stanley	NC	Suburban	5	570	242 Mariposa 110 Airport	Sep-15 Apr-16	\$180,000 \$166,000	\$175,043	3%
44	Clarke Cnty	White Post	VA	Rural	20	1230	833 Nations Spr 541 Old Kitchen	Jan-17 Sep-18	\$295,000 \$370,000	\$279,313	5%
45	Flemington	Flemington	NJ	Suburban	9.36	295	10 Coventry 1 Sheffield	Mar-18 Dec-17	\$370,000 \$399,900	\$389,809	-5%
46	Flemington	Flemington	NJ	Suburban	9.36	375	54 Hart 43 Aberdeen	Jul-16 Nov-16	\$420,000 \$417,000	\$423,190	-1%
47	Flemington	Flemington	NJ	Suburban	9.36	425	6 Portsmith 43 Aberdeen	Jun-15 Nov-16	\$410,000 \$417,000	\$423,190	-3%
48	Flemington	Flemington	NJ	Suburban	9.36	345	12 Stratford 28 Bristol	Nov-17 Dec-18	\$414,900 \$398,000	\$420,002	-1%
49	Frenchtown	Frenchtown	NJ	Rural	7.9	250	5 Muddy Run 132 Kingswood	Jun-17 Oct-16	\$385,000 \$380,000	\$355,823	8%
50	McGraw	East Windsor	NJ	Suburban	14	175	153 Wyndmoor 20 Spyglass	Apr-17 Dec-17	\$215,000 \$240,000	\$235,305	-9%
51	McGraw	East Windsor	NJ	Suburban	14	175	149 Wyndmoor 81 Wyndmoor	May-17 Jan-18	\$206,000 \$204,000	\$198,018	4%
52	McGraw	East Windsor	NJ	Suburban	14	400	26 Wilmor 25 Pinehurst	Mar-19 May-19	\$286,000 \$315,000	\$267,052	7%
53	Tinton Falls	Tinton Falls	NJ	Suburban	16	185	111 Kyle 80 Kyle	Aug-18 Sep-17	\$402,000 \$410,000	\$397,821	1%
54	Tinton Falls	Tinton Falls	NJ	Suburban	16	155	47 Kyle 4 Michael	Aug-18 Nov-18	\$260,000 \$260,000	\$259,788	0%
55	Tinton Falls	Tinton Falls	NJ	Suburban	16	150	7 Kyle 36 Kyle	Jun-17 Jan-19	\$262,195 \$260,000	\$257,824	2%
56	Tinton Falls	Tinton Falls	NJ	Suburban	16	155	1 Samantha 36 Kyle	Sep-17 Jan-19	\$258,205 \$260,000	\$259,533	-1%
57	Tinton Falls	Tinton Falls	NJ	Suburban	16	155	1 Samantha 36 Kyle	Sep-17 Jan-19	\$258,205 \$260,000	\$259,533	-1%
58	Candace	Princeton	NC	Suburban	5	488	499 Herring 1795 Bay Valley	Sep-17 Dec-17	\$215,000 \$194,000	\$214,902	0%
59	Crittenden	Crittenden	KY	Suburban	2.7	373	250 Claiborne 315 N Fork	Jan-19 May-19	\$120,000 \$107,000	\$120,889	-1%

Pair	Solar Farm	City	State	Area	MW	Distance	Tax ID/Address	Sale Date	Sale Price	Adj. Sale Price	% Diff
60	Crittenden	Crittenden	KY	Suburban	2.7	488	300 Claiborne	Sep-18	\$213,000		
							1795 Bay Valley	Dec-17	\$231,200	\$228,180	-7%
61	Crittenden	Crittenden	KY	Suburban	2.7	720	350 Claiborne	Jul-18	\$245,000		
							2160 Sherman	Jun-19	\$265,000	\$248,225	-1%
62	Crittenden	Crittenden	KY	Suburban	2.7	930	370 Claiborne	Aug-19	\$273,000		
							125 Lexington	Apr-18	\$240,000	\$254,751	7%
63	Walker	Barhamsville	VA	Rural	20	250	5241 Barham	Oct-18	\$264,000		
							9252 Ordinary	Jun-19	\$277,000	\$246,581	7%
64	AM Best	Goldsboro	NC	Suburban	5	385	103 Granville Pl	Jul-18	\$265,000		
							2219 Granville	Jan-18	\$260,000	\$265,682	0%
65	AM Best	Goldsboro	NC	Suburban	5	315	104 Erin	Jun-17	\$280,000		
							2219 Granville	Jan-18	\$265,000	\$274,390	2%
66	AM Best	Goldsboro	NC	Suburban	5	400	2312 Granville	May-18	\$284,900		
							2219 Granville	Jan-18	\$265,000	\$273,948	4%
67	AM Best	Goldsboro	NC	Suburban	5	400	2310 Granville	May-19	\$280,000		
							634 Friendly	Jul-19	\$267,000	\$265,291	5%
68	Summit	Moyock	NC	Suburban	80	570	318 Green View	Sep-19	\$357,000		
							336 Green View	Jan-19	\$365,000	\$340,286	5%
69	Summit	Moyock	NC	Suburban	80	440	164 Ranchland	Apr-19	\$169,000		
							105 Longhorn	Oct-17	\$184,500	\$186,616	-10%
70	Summit	Moyock	NC	Suburban	80	635	358 Oxford	Sep-19	\$478,000		
							176 Providence	Sep-19	\$425,000	\$456,623	4%
71	Summit	Moyock	NC	Suburban	80	970	343 Oxford	Mar-17	\$490,000		
							218 Oxford	Apr-17	\$525,000	\$484,064	1%
72	Innov 46	Hope Mills	NC	Suburban	78.5	435	6849 Roslin Farm	Feb-19	\$155,000		
							109 Bledsoe	Jan-19	\$150,000	\$147,558	5%
73	Innov 42	Fayetteville	NC	Suburban	71	340	2923 County Line	Feb-19	\$385,000		
							2109 John McMillan	Apr-18	\$320,000	\$379,156	2%
74	Innov 42	Fayetteville	NC	Suburban	71	330	2935 County Line	Jun-19	\$266,000		
							7031 Glynn Mill	May-18	\$255,000	\$264,422	1%
75	Demille	Lapeer	MI	Suburban	28	310	1120 Don Wayne	Aug-19	\$194,000		
							1231 Turrill	Apr-19	\$182,000	\$200,895	-4%
76	Demille	Lapeer	MI	Suburban	28	310	1126 Don Wayne	May-18	\$160,000		
							3565 Garden	May-19	\$165,000	\$163,016	-2%
77	Demille	Lapeer	MI	Suburban	28	380	1138 Don Wayne	Aug-19	\$191,000		
							1128 Gwen	Aug-18	\$187,500	\$189,733	1%
78	Demille	Lapeer	MI	Suburban	28	280	1174 Alice	Jan-19	\$165,000		
							1127 Don Wayne	Sep-19	\$176,900	\$163,443	1%
79	Turrill	Lapeer	MI	Suburban	20	290	1060 Cliff	Sep-18	\$200,500		
							1128 Gwen	Aug-18	\$187,500	\$200,350	0%
80	Turrill	Lapeer	MI	Suburban	20	255	1040 Cliff	Jun-17	\$145,600		
							1127 Don Wayne	Sep-19	\$176,900	\$146,271	0%
81	Sunfish	Willow Sprng	NC	Suburban	6.4	205	7513 Glen Willow	Sep-17	\$185,000		
							205 Pine Burr	Dec-17	\$191,000	\$172,487	7%
82	HCE Johnston	Benson	NC	Suburban	2.6	290	107 Reese	Nov-19	\$393,000		
							200 Reese	Feb-20	\$400,000	\$377,338	4%
83	HCE Johnston	Benson	NC	Suburban	2.6	105	63 Reese	Mar-20	\$410,000		
							320 Wolf Den	Sep-19	\$377,780	\$393,474	4%
84	Crittenden	Crittenden	KY	Suburban	2.7	655	330 Claiborne	Dec-19	\$282,500		
							895 Osborne	Sep-19	\$249,900	\$265,327	6%
85	Picture Rocks	Tucson	AZ	Rural	20	1100	12980 W Moss V	Jun-20	\$393,900		
							13071 W Smr Poppy	Feb-20	\$389,409	\$396,001	-1%
86	Picture Rocks	Tucson	AZ	Rural	20	970	12986 W Moss V	Jun-19	\$350,000		
							12884 W Zebra Aloe	Jan-20	\$336,500	\$356,528	-2%
87	Picture Rocks	Tucson	AZ	Rural	20	990	12705 W Emigh	Jan-19	\$255,000		
							12020 W Camper	Sep-19	\$200,000	\$257,440	-1%
88	Avra Valley	Tucson	AZ	Rural	25	1697	9415 N Ghost Ranch	Oct-18	\$131,000		
							7175 N Nelson Quich.	Mar-19	\$136,000	\$131,913	-1%
89	Avra Valley	Tucson	AZ	Rural	25	1467	14441 W Stallion	Dec-17	\$150,000		
							9620 N Rng Bck	Mar-19	\$139,000	\$143,396	4%
90	Neal Hawkins	Gastonia	NC	Suburban	5	145	611 Neal Hawkins	Jun-17	\$288,000		
							1211 Still Forrest	Jul-18	\$280,000	\$284,838	1%
91	Clarke Cnty	White Post	VA	Rural	20	1230	833 Nations Spr	Aug-19	\$385,000		
							2393 Old Chapel	Aug-20	\$330,000	\$389,286	-1%
92	Sappony	Stony Creek	VA	Rural	20	1425	12511 Palestine	Jul-18	\$128,400		
							6494 Rocky Branch	Nov-18	\$100,000	\$131,842	-3%

Pair	Solar Farm	City	State	Area	MW	Approx		Sale Date	Sale Price	Adj. Sale Price	% Diff
						Distance	Tax ID/Address				
93	Camden Dam	Camden	NC	Rural	5	342	122 N Mill Dam	Nov-18	\$350,000		
94	Grandy	Grandy	NC	Suburban	20	405	548 Trotman	May-18	\$309,000	\$351,027	0%
							120 Par Four	Aug-19	\$315,000		
95	Grandy	Grandy	NC	Suburban	20	477	116 Barefoot	Sep-20	\$290,000	\$302,587	4%
							269 Grandy	May-19	\$275,000		
96	Champion	Pelion	SC	Suburban	10	505	103 Spring Leaf	Aug-18	\$270,000	\$274,094	0%
							517 Old Charleston	Aug-20	\$110,000		
							1429 Laurel	Feb-19	\$126,000	\$107,856	2%
					Avg.						
					MW	Distance					
Average					18.11	521					
Median					8.60	400					
High					80.00	2,020					
Low					0.22	105					

Larger Solar Farm Data

I have summarized the solar farm data for projects at 20 MW and larger as shown below. These are the same solar farms noted above but focused on larger projects.

Matched Pair Summary						Adj. Uses By Acreage					1 mile Radius (2010-2020 Data)		
	Name	City	State	Acres	MW	Topo Shift	Res	Ag/Res	Ag	Com/Ind	Population	Med. Income	Avg. Housing Unit
10	Summit	Moyock	NC	2,034	80.00	4	4%	94%	0%	2%	382	\$79,114	\$281,731
13	Manatee	Parrish	FL	1,180	75.00	20	2%	1%	97%	0%	48	\$75,000	\$291,667
14	McBride	Midland	NC	627	75.00	140	12%	78%	10%	0%	398	\$63,678	\$256,306
18	Grand Ridge	Streator	IL	160	20.00	1	8%	5%	87%	0%	96	\$70,158	\$187,037
24	Clarke Cnty	White Post	VA	234	20.00	70	14%	46%	39%	1%	578	\$81,022	\$374,453
26	Simon	Social Circle	GA	237	30.00	71	1%	36%	63%	0%	203	\$76,155	\$269,922
32	Walker	Barhamsville	VA	485	20.00	N/A	12%	20%	68%	0%	203	\$80,773	\$320,076
33	Innov 46	Hope Mills	NC	532	78.50	0	17%	0%	83%	0%	2,247	\$58,688	\$183,435
34	Innov 42	Fayetteville	NC	414	71.00	0	41%	0%	59%	0%	568	\$60,037	\$276,347
35	Demille	Lapeer	MI	160	28.40	10	10%	0%	68%	22%	2,010	\$47,208	\$187,214
36	Turrill	Lapeer	MI	230	19.60	10	75%	0%	59%	25%	2,390	\$46,839	\$110,361
39	Picture Rocks	Tucson	AZ	182	20.00	N/A	6%	6%	88%	0%	102	\$81,081	\$280,172
40	Avra Valley	Tucson	AZ	246	25.00	N/A	3%	3%	94%	0%	85	\$80,997	\$292,308
41	Sappony	Stony Crk	VA	322	20.00	N/A	2%	0%	98%	0%	74	\$51,410	\$155,208
43	Grandy	Grandy	NC	121	20.00	10	55%	0%	24%	21%	949	\$50,355	\$231,408
Average				478	40	31	17%	19%	62%	5%	689	\$66,834	\$246,510
Median				246	25	10	10%	3%	68%	0%	382	\$70,158	\$269,922
High				2,034	80	140	75%	94%	98%	25%	2,390	\$81,081	\$374,453
Low				121	20	0	1%	0%	0%	0%	48	\$46,839	\$110,361

The breakdown of adjoining uses, population density, median income and housing prices for these projects are very similar to those of the larger set.

On the following page I show 63 projects ranging in size from 50 MW up to 1,000 MW with an average size of 118.48 MW and a median of 80 MW. The average closest distance for an adjoining home is 241 feet, while the median distance is 175 feet. The closest distance is 57 feet. The mix of adjoining uses is similar with most of the adjoining uses remaining residential or agricultural in nature.

Parcel #	State	County	City	Name	Output (MW)	Total	Used	Avg. Dist	Closest	Adjoining Use by Acre				
						Acres	Acres	to home	Home	Res	Agri	Agri/Res	Com	
78	NC	Currituck	Moyock	Summit/Ranchland	80	2034			674	360	4%	94%	0%	2%
133	MS	Forrest	Hattiesburg	Hattiesburg	50	1129	479.6		650	315	35%	65%	0%	0%
179	SC	Jasper	Ridgeland	Jasper	140	1600	1000		461	108	2%	85%	13%	0%
211	NC	Halifax	Enfield	Chestnut	75	1428.1		1,429		210	4%	96%	0%	0%
222	VA	Mecklenburg	Chase City	Grasshopper	80	946.25					6%	87%	5%	1%
226	VA	Louisa	Louisa	Belcher	88	1238.1				150	19%	53%	28%	0%
305	FL	Pasco	Dade City	Mountain View	55	347.12		510		175	32%	39%	21%	8%
319	FL	Hamilton	Jasper	Hamilton	74.9	1268.9	537	3,596		240	5%	67%	28%	0%
336	FL	Manatee	Parrish	Manatee	74.5	1180.4		1,079		625	2%	50%	1%	47%
337	FL	DeSoto	Arcadia	Citrus	74.5	640					0%	0%	100%	0%
338	FL	Charlotte	Port Charlotte	Babcock	74.5	422.61					0%	0%	100%	0%
353	VA	Accomack	Oak Hall	Amazon East(ern shore)	80	1000		645	135	8%	75%	17%	0%	0%
364	VA	Culpepper	Stevensburg	Greenwood	100	2266.6	1800	788	200	8%	62%	29%	0%	0%
368	NC	Duplin	Warsaw	Warsaw	87.5	585.97	499	526	130	11%	66%	21%	3%	0%
390	NC	Richmond	Ellerbe	Innovative Solar 34	50	385.24	226	N/A	N/A	1%	99%	0%	0%	0%
399	NC	Cabarrus	Midland	McBride	74.9	974.59	627	1,425	140	12%	78%	9%	0%	0%
400	FL	Polk	Mulberry	Alafia	51	420.35		490	105	7%	90%	3%	0%	0%
406	VA	Halifax	Clover	Foxhound	91	1311.8		885	185	5%	61%	17%	18%	0%
410	FL	Gilchrist	Trenton	Trenton	74.5	480		2,193	775	0%	26%	55%	19%	0%
411	NC	Edgecombe	Battleboro	Fern	100	1235.4	960.71	1,494	220	5%	76%	19%	0%	0%
412	MD	Caroline	Goldsboro	Cherrywood	202	1722.9	1073.7	429	200	10%	76%	13%	0%	0%
434	NC	Edgecombe	Conetoe	Conetoe	80	1389.9	910.6	1,152	120	5%	78%	17%	0%	0%
440	FL	Volusia	Debary	Debary	74.5	844.63		654	190	3%	27%	0%	70%	0%
441	FL	Alachua & Putnam	Hawthorne	Horizon	74.5	684				3%	81%	16%	0%	0%
484	VA	Southampton	Newsoms	Southampton	100	3243.9		-	-	3%	78%	17%	3%	0%
486	VA	Augusta	Stuarts Draft	Augusta	125	3197.4	1147	588	165	16%	61%	16%	7%	0%
491	NC	Stanly	Misenheimer	Misenheimer 2018	80	740.2	687.2	504	130	11%	40%	22%	27%	0%
494	VA	King and Queen	Shacklefords	Walnut	110	1700	1173	641	165	14%	72%	13%	1%	0%
496	VA	Halifax	Clover	Piney Creek	80	776.18	422	523	195	15%	62%	24%	0%	0%
511	NC	Halifax	Scotland Neck	American Beech	160	3255.2	1807.8	1,262	205	2%	58%	38%	3%	0%
514	NC	Rockingham	Reidsville	Williamsburg	80	802.6	507	734	200	25%	12%	63%	0%	0%
517	VA	Page	Luray	Cape	100	566.53	461	519	110	42%	12%	46%	0%	0%
518	VA	Greensville	Emporia	Fountain Creek	80	798.3	595	862	300	6%	23%	71%	0%	0%
525	NC	Washington	Plymouth	Macadamia	484	5578.7	4813.5	1,513	275	1%	90%	9%	0%	0%
526	NC	Cleveland	Mooreboro	Broad River	50	759.8	365	419	70	29%	55%	16%	0%	0%
555	FL	Polk	Mulberry	Durrance	74.5	463.57	324.65	438	140	3%	97%	0%	0%	0%
560	NC	Yadkin	Yadkinville	Sugar	60	477	357	382	65	19%	39%	20%	22%	0%
561	NC	Halifax	Enfield	Halifax 80mw 2019	80	1007.6	1007.6	672	190	8%	73%	19%	0%	0%
577	VA	Isle of Wight	Windsor	Windsor	85	564.1	564.1	572	160	9%	67%	24%	0%	0%
579	VA	Spotsylvania	Paytes	Spotsylvania	500	6412	3500			9%	52%	11%	27%	0%
582	NC	Rowan	Salisbury	China Grove	65	428.66	324.26	438	85	58%	4%	38%	0%	0%
583	NC	Stokes	Walnut Cove	Lick Creek	50	1424	185.11	410	65	20%	64%	11%	5%	0%
584	NC	Halifax	Enfield	Sweetleaf	94	1956.3	1250	968	160	5%	63%	32%	0%	0%
586	VA	King William	Aylett	Sweet Sue	77	1262	576	1,617	680	7%	68%	25%	0%	0%
593	NC	Bertie	Windsor	Sumac	120	3360.6	1257.9	876	160	4%	90%	6%	0%	0%
599	TN	Payette	Somerville	Yum Yum	147	4000	1500	1,862	330	3%	32%	64%	1%	0%
602	GA	Burke	Waynesboro	White Oak	76.5	516.7	516.7	2,995	1,790	1%	34%	65%	0%	0%
603	GA	Taylor	Butler	Butler GA	103	2395.1	2395.1	1,534	255	2%	73%	23%	2%	0%
604	GA	Taylor	Butler	White Pine	101.2	505.94	505.94	1,044	100	1%	51%	48%	1%	0%
605	GA	Candler	Metter	Live Oak	51	417.84	417.84	910	235	4%	72%	23%	0%	0%
606	GA	Jeff Davis	Hazelhurst	Hazelhurst II	52.5	947.15	490.42	2,114	105	9%	64%	27%	0%	0%
607	GA	Decatur	Bainbridge	Decatur Parkway	80	781.5	781.5	1,123	450	2%	27%	22%	49%	0%
608	GA	Sumter	Leslie-DeSoto	Americus	1000	9661.2	4437	5,210	510	1%	63%	36%	0%	0%
616	FL	Colombia	Fort White	Fort White	74.5	570.5	457.2	828	220	12%	71%	17%	0%	0%
621	VA	Surry	Spring Grove	Loblolly	150	2181.9	1000	1,860	110	7%	62%	31%	0%	0%
622	VA	Albemarle	Scottsville	Woodridge	138	2260.9	1000	1,094	170	9%	63%	28%	0%	0%
625	NC	Nash	Middlesex	Phobos	80	754.52	734	356	57	14%	75%	10%	0%	0%
628	MI	Lenawee	Deerfield	Carroll Road	200	1694.8	1694.8	343	190	12%	86%	0%	2%	0%
633	VA	Greensville	Emporia	Brunswick	150.2	2076.4	1387.3	1,091	240	4%	85%	11%	0%	0%
634	NC	Surry	Elkin	Partin	50	429.4	257.64	945	155	30%	25%	15%	30%	0%
638	GA	Twiggs	Dry Branch	Twiggs	200	2132.7	2132.7	-	-	10%	55%	35%	0%	0%
639	NC	Cumberland	Hope Mills	Innovative Solar 46	78.5	531.87	531.87	423	125	17%	83%	0%	0%	0%
640	NC	Cumberland	Hope Mills	Innovative Solar 42	71	413.99	413.99	375	135	41%	59%	0%	0%	0%
Total Number of Solar Farms					63									
Average					118.48	1533.1	1043.6	1058	241	11%	60%	24%	6%	0%
Median					80.00	1000.0	657.1	808	175	7%	64%	19%	0%	0%
High					1000.00	9661.2	4813.5	5210	1790	58%	99%	100%	70%	0%
Low					50.00	347.1	185.1	343	57	0%	0%	0%	0%	0%

III. Distance Between Homes and Solar Panels

I have measured distances at matched pairs as close as 105 feet between panel and home to show no impact on value. This measurement goes from the closest point on the home to the closest solar panel. This is a strong indication that at this distance there is no impact on adjoining homes.

However, in tracking other approved solar farms across North Carolina and other states, I have found that it is common for there to be homes within 100 to 150 feet of solar panels. Given the landscaping involved in these there is no sign of negative impact. I do note that the landscaping tends to be larger at time of planting when the panels are closer to homes.

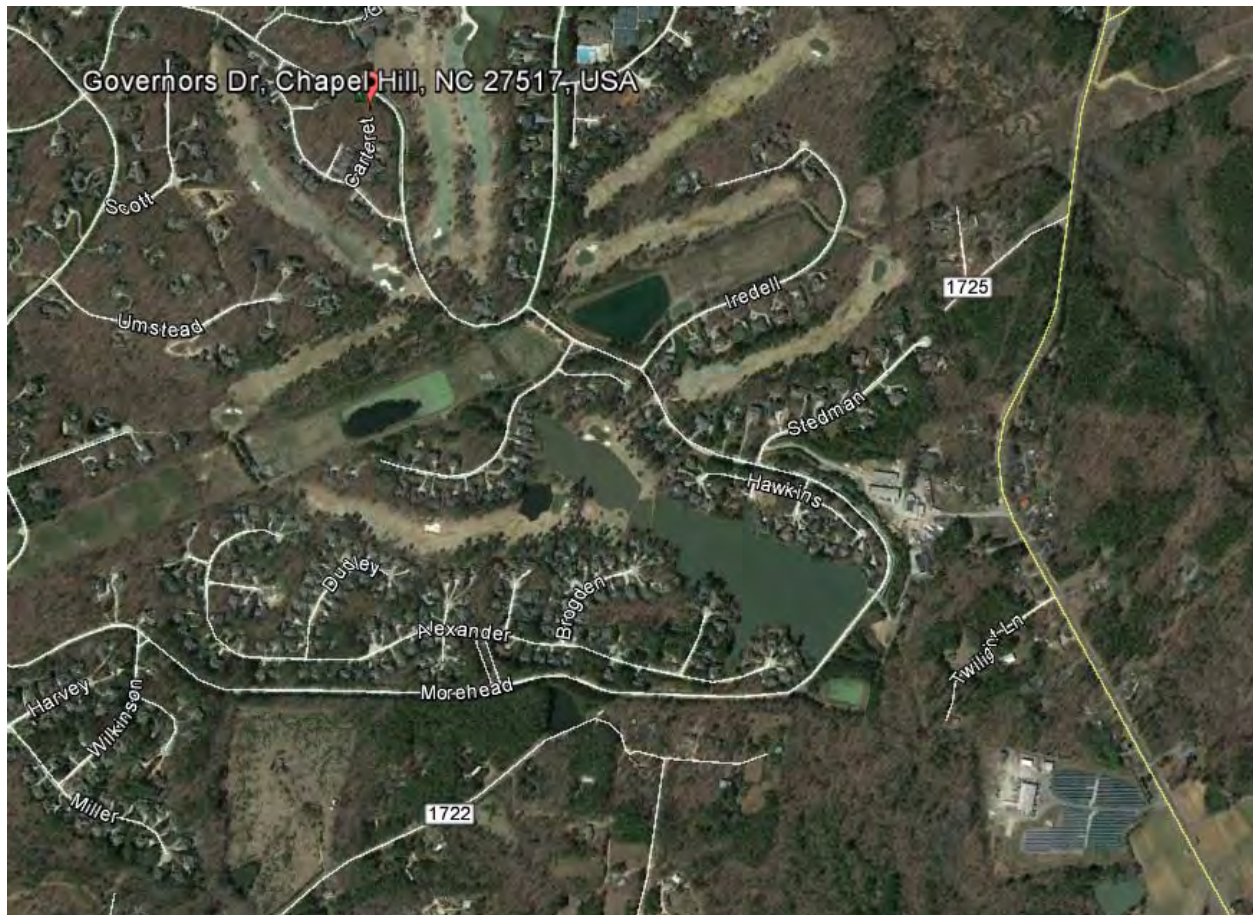
I have also tracked a number of locations where solar panels are between 50 and 100 feet of single family homes. In these cases the landscaping is typically a double row of more mature evergreens at time of planting. There are many examples of solar farms with one or two homes closer than 100-feet, but most of the adjoining homes are further than that distance.

IV. Topography

Landscaping screens work very well at concealing solar farms on flat land. I have included a number of matched pairs with similar flat topography with similar setbacks to the subject property. I note that I identified only a 30-foot shift over the 885-acre parent tract assemblage which is fairly flat land, which makes landscaped screening more effective. The topographic shifts identified in the matched pair solar farms average 32-foot shifts over smaller areas and include topographic shifts up to 150 feet, which strongly supports the assertion that the topography on the site is supported by the data considered in this analysis.

V. Scope of Research

I have researched nearly 700 solar farms and sites on which solar farms are existing and proposed in North Carolina, Florida, Virginia as well as other states to determine what uses are typically found in proximity with a solar farm. The data I have collected and provide in this report strongly supports the assertion that solar farms are having no negative consequences on adjoining agricultural and residential values. While I have focused on adjoining values, I note that there are many examples of solar farms being located within a quarter mile of residential developments, including such notable developments as Governor's Club in Chapel Hill, which has a solar farm within a quarter mile as shown on the following aerial map. Governor's Club is a gated golf community with homes selling for \$300,000 to over \$2 million.



The subdivisions included in the matched pair analysis also show an acceptance of residential uses adjoining solar farms with no negative impact on property value.

Beyond these references, I have quantified the adjoining uses for a number of solar farm comparables to derive a breakdown of the adjoining uses for each solar farm. The chart below shows the breakdown of adjoining or abutting uses by total acreage.

Percentage By Adjoining Acreage									
	Res	Ag	Res/AG	Comm	Ind	Avg Home	Closest Home	All Res Uses	All Comm Uses
Average	19%	53%	20%	2%	6%	887	344	91%	8%
Median	11%	56%	11%	0%	0%	708	218	100%	0%
High	100%	100%	100%	93%	98%	5,210	4,670	100%	98%
Low	0%	0%	0%	0%	0%	90	25	0%	0%
Res = Residential, Ag = Agriculture, Com = Commercial									
Total Solar Farms Considered: 705									

I have also included a breakdown of each solar farm by number of adjoining parcels rather than acreage. Using both factors provides a more complete picture of the neighboring properties.

Percentage By Number of Parcels Adjoining									
	Res	Ag	Res/AG	Comm	Ind	Avg Home	Closest Home	All Res Uses	All Comm Uses
Average	61%	24%	9%	2%	4%	887	344	93%	6%
Median	65%	19%	5%	0%	0%	708	218	100%	0%
High	100%	100%	100%	60%	78%	5,210	4,670	105%	78%
Low	0%	0%	0%	0%	0%	90	25	0%	0%
Res = Residential, Ag = Agriculture, Com = Commercial									
Total Solar Farms Considered: 705									

Both of the above charts show a marked residential and agricultural adjoining use for most solar farms. Every single solar farm considered included an adjoining residential or residential agricultural use.

VI. Specific Factors Related To Impacts on Value

I have completed a number of Impact Studies related to a variety of uses and I have found that the most common areas for impact on adjoining values typically follow a hierarchy with descending levels of potential impact. I will discuss each of these categories and how they relate to a solar farm.

1. Hazardous material
2. Odor
3. Noise
4. Traffic
5. Stigma
6. Appearance

1. Hazardous material

The solar farm presents no potential hazardous waste byproduct as part of normal operation. Any fertilizer, weed control, vehicular traffic, or construction will be significantly less than typically applied in a residential development and even most agricultural uses.

The various solar farms that I have inspected and identified in the addenda have no known environmental impacts associated with the development and operation.

2. Odor

The various solar farms that I have inspected produced no odor.

3. Noise

Whether discussing passive fixed solar panels, or single-axis trackers, there is no negative impact associated with noise from a solar farm. The transformer reportedly has a hum similar to an HVAC that can only be heard in close proximity to this transformer and the buffers on the property are sufficient to make emitted sounds inaudible from the adjoining properties. No sound is emitted from the facility at night.

The various solar farms that I have inspected were inaudible from the roadways.

4. Traffic

The solar farm will have no onsite employee's or staff. The site requires only minimal maintenance. Relative to other potential uses of the site (such as a residential subdivision), the additional traffic generated by a solar farm use on this site is insignificant.

5. Stigma

There is no stigma associated with solar farms and solar farms and people generally respond favorably towards such a use. While an individual may express concerns about proximity to a solar farm, there is no specific stigma associated with a solar farm. Stigma generally refers to things such as adult establishments, prisons, rehabilitation facilities, and so forth.

Solar panels have no associated stigma and in smaller collections are found in yards and roofs in many residential communities. Solar farms are adjoining elementary, middle and high schools as well as churches and subdivisions. I note that Solar Farm Matched Pair Set 9 in this report not only adjoins a church, but is actually located on land owned by the church. Solar panels on a roof are often cited as an enhancement to the property in marketing brochures.

I see no basis for an impact from stigma due to a solar farm.

6. Appearance

I note that larger solar farms using fixed or tracking panels are a passive use of the land that is in keeping with a rural/residential area. As shown below, solar farms are comparable to larger greenhouses. This is not surprising given that a greenhouse is essentially another method for collecting passive solar energy. The greenhouse use is well received in residential/rural areas and has a similar visual impact as a solar farm.



The solar panels are all less than 15 feet high, which means that the visual impact of the solar panels will be similar in height to a typical greenhouse and lower than a single story residential dwelling. Were the subject property developed with single family housing, that development would have a much greater visual impact on the surrounding area given that a two-story home with attic could be three to four times as high as these proposed panels.

7. Conclusion

On the basis of the factors described above, it is my professional opinion that the proposed solar farm will not negatively impact adjoining property values. The only category of impact of note is appearance, which is addressed through setbacks and landscaping buffers. The matched pair data supports that conclusion.

VII. Conclusion

The matched pair analysis shows no impact in home values due to abutting or adjoining a solar farm as well as no impact to abutting or adjacent vacant residential or agricultural land. The criteria that typically correlates with downward adjustments on property values such as noise, odor, and traffic all support a finding of no impact on property value.

Very similar solar farms in very similar areas have been found by hundreds of towns and counties not to have a substantial injury to abutting or adjoining properties, and many of those findings of no impact have been upheld by appellate courts. Similar solar farms have been approved adjoining agricultural uses, schools, churches, and residential developments.

Based on the data and analysis in this report, it is my professional opinion that the solar farm proposed at the subject property will have no impact on the value of adjoining or abutting property. I note that some of the positive implications of a solar farm that have been expressed by people living next to solar farms include protection from future development of residential developments or other more intrusive uses, reduced dust, odor and chemicals from former farming operations, protection from light pollution at night, it's quiet, and there is no traffic.



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Professional Experience

Kirkland Appraisals, LLC , Raleigh, N.C. Commercial appraiser	2003 – Present
Hester & Company , Raleigh, N.C. Commercial appraiser	1996 – 2003

Professional Affiliations

MAI (Member, Appraisal Institute) designation #11796	2001
NC State Certified General Appraiser # A4359	1999
VA State Certified General Appraiser # 4001017291	
SC State Certified General Appraiser # 6209	
FL State Certified General Appraiser # RZ3950	
IL State Certified General Appraiser # 553.002633	
KY State Certified General Appraiser # 5522	

Education

Bachelor of Arts in English , University of North Carolina, Chapel Hill	1993
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Continuing Education

Florida Appraisal Laws and Regulations	2020
Michigan Appraisal Law	2020
Uniform Standards of Professional Appraisal Practice Update	2020
Uniform Appraisal Standards for Federal Land Acquisitions (Yellow Book)	2019
The Cost Approach	2019
Income Approach Case Studies for Commercial Appraisers	2018
Introduction to Expert Witness Testimony for Appraisers	2018
Appraising Small Apartment Properties	2018
Florida Appraisal Laws and Regulations	2018
Uniform Standards of Professional Appraisal Practice Update	2018
Appraisal of REO and Foreclosure Properties	2017
Appraisal of Self Storage Facilities	2017
Land and Site Valuation	2017
NCDOT Appraisal Principles and Procedures	2017
Uniform Standards of Professional Appraisal Practice Update	2016
Forecasting Revenue	2015
Wind Turbine Effect on Value	2015
Supervisor/Trainee Class	2015
Business Practices and Ethics	2014
Subdivision Valuation	2014
Uniform Standards of Professional Appraisal Practice Update	2014
Introduction to Vineyard and Winery Valuation	2013
Appraising Rural Residential Properties	2012

Uniform Standards of Professional Appraisal Practice Update	2012
Supervisors/Trainees	2011
Rates and Ratios: Making sense of GIMs, OARs, and DCFs	2011
Advanced Internet Search Strategies	2011
Analyzing Distressed Real Estate	2011
Uniform Standards of Professional Appraisal Practice Update	2011
Business Practices and Ethics	2011
Appraisal Curriculum Overview (2 Days – General)	2009
Appraisal Review - General	2009
Uniform Standards of Professional Appraisal Practice Update	2008
Subdivision Valuation: A Comprehensive Guide	2008
Office Building Valuation: A Contemporary Perspective	2008
Valuation of Detrimental Conditions in Real Estate	2007
The Appraisal of Small Subdivisions	2007
Uniform Standards of Professional Appraisal Practice Update	2006
Evaluating Commercial Construction	2005
Conservation Easements	2005
Uniform Standards of Professional Appraisal Practice Update	2004
Condemnation Appraising	2004
Land Valuation Adjustment Procedures	2004
Supporting Capitalization Rates	2004
Uniform Standards of Professional Appraisal Practice, C	2002
Wells and Septic Systems and Wastewater Irrigation Systems	2002
Appraisals 2002	2002
Analyzing Commercial Lease Clauses	2002
Conservation Easements	2000
Preparation for Litigation	2000
Appraisal of Nonconforming Uses	2000
Advanced Applications	2000
Highest and Best Use and Market Analysis	1999
Advanced Sales Comparison and Cost Approaches	1999
Advanced Income Capitalization	1998
Valuation of Detrimental Conditions in Real Estate	1999
Report Writing and Valuation Analysis	1999
Property Tax Values and Appeals	1997
Uniform Standards of Professional Appraisal Practice, A & B	1997
Basic Income Capitalization	1996

May 20, 2020

Mr. Wade Dandridge
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Northwest District Office
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Tallahassee, Florida 32399-3000
Wade.Dandridge@FloridaDEP.gov

Re: Ecoplexus Drifton Solar Site – Petition for a Formal Determination of the Landward Extent of Wetlands and Other Surface Waters
±881.81 acres North of Aucilla Road
Drifton, Jefferson County, FL
30°29'51.87"N, 83°51'20.04"W

Dear Mr. Dandridge:

Environmental Consulting & Technology, Inc. (ECT) is submitting this Petition for a Formal Determination of the Landward Extent of Wetlands and Other Surface Waters application (enclosed) on behalf of Ecoplexus, Inc., to obtain an approved jurisdictional determination on a 881.81-acre (+/-) project area (Figure 1). The site is located north of Aucilla Road in Drifton, Jefferson County (Section 12, Township 1N, Range 4E and Sections 7, 8, and 17 Township 1N, Range 5E). The site is comprised of 9 parcels:

1. 12-1N-4E-0000-0014-0000
2. 07-1N-5E-0000-0010-0000
3. 08-1N-5E-0000-0011-0000
4. 08-1N-5E-0000-0030-0000
5. 07-1N-5E-0000-001B-0000
6. 07-1N-5E-0000-001C-0000
7. 07-1N-5E-0000-0020-0000
8. 07-1N-5E-0000-001D-0000
9. 07-1N-5E-0000-002P-0000

Before initiating field work, ECT reviewed publicly available data such as: high resolution aerial photographs, the Natural Resource Conservation Service Soil Survey (Figure 2), National Wetlands Inventory (Figure 3), and Suwanee River Water Management District (SRWMD) Land Use data (Figure 3). ECT delineated the wetlands in March 2020 based

1408 N Westshore
Blvd, Suite 115
Tampa, FL
33607

(813) 289-9338

FAX

(813) 289-9388

Mr. Andy Kizlauskas
May 8, 2020
Page 2

on state¹ and federal² wetland delineation methodology to evaluate the jurisdictional extent of wetlands based on current conditions. The jurisdictional extent of wetlands and surface waters are overlaid on an aerial for the entire site (Figure 4) and as a more detailed view in Figure 5. As shown on Figures 4 and 5, the site contains approximately 288.06 acres of wetlands and 2.75 acres of surface waters.

A copy of the certified specific purpose wetland survey will be provided following the field review of the wetland line. ECT has also enclosed a copy of the proof of legal and equitable interest to act on the behalf of the current land owners. The FDEP \$4,377.22 processing fee will be submitted separately after we confirm the fee amount. Please direct any questions you may have to Brandon Gray at (813) 317-8644 (or bgray@ectinc.com) to schedule a site review at your earliest convenience.

Sincerely,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Brandon Gray
Staff Scientist III



Darren Stowe, AICP
Principal Planner

cc: Heloise Hedlund, Ecoplexus, Inc.

Enclosures: FDEP Formal JD Application
Proof of Interest in the Property
Figure 1. USGS Topo Map
Figure 2. NRCS Soils Map
Figure 3. Land Use and NWI Map
Figure 4. Overall Wetlands and Surface Waters Map
Figure 5. Wetland and Surface Waters Map (Detail)

¹ Chapter 62-340, F.A.C. Delineation of the Landward Extent of Wetlands and Surface Waters

² 1987 Corps of Engineers Wetland Delineation Manual

**FDEP Petition for a Formal Determination
of tWetlands and Other Surface Waters**

Petition for a Formal Determination of the Landward Extent of Wetlands and Other Surface Waters

Instructions: This form constitutes a petition to the Agency for a formal determination of the extent of wetlands and other surface waters in accordance with Chapter 62-340, F.A.C. Submit this form with the requested copies of supporting information and the non-refundable fee (please contact the appropriate agency for current fee schedule). Refer to Section 62-330.201, F.A.C., for procedural information.

Part 1: Applicant and Associated Parties Information

A. Property Owner

Last Name: Chamberlain III First Name: Lloyd Middle:

Title: Owner Company: N/A

Address: 13338 Golf Crest Circle

City: Tampa State: Florida Zip: 33618

Home Telephone: N/A Work Telephone: N/A

Cell Phone: N/A E-mail Address: N/A

Will this individual be the representative to accompany staff during the site inspection? ☐ yes ☒ no

Last Name: N/A First Name: N/A Middle:

Title: N/A Company: Larry G Woods Family Trust

Address: 2525 S 42nd Street

City: Duncan State: Oklahoma Zip: 73533

Home Telephone: N/A Work Telephone: N/A

Cell Phone: N/A E-mail Address: N/A

Will this individual be the representative to accompany staff during the site inspection? ☐ yes ☒ no

B. Petitioner/Entity to Receive Formal Determination

Company: Ecoplexus, Inc. Title: Senior Permitting Manager

Last Name: Wanka First Name: Katie Middle:

Address: 600 Park Offices Drive, Suite 285

City: Research Triangle State: North Carolina Zip: 27709

Home Telephone: N/A Work Telephone: 713-203-7719

Cell Phone: E-mail Address: kwanka@ecoplexus.com

Will this individual be the representative to accompany staff during the site inspection? ☐ yes ☒ no

C. Agent

Last Name: Gray First Name: Brandon Middle:
Title: Staff Scientist III Company: Environmental Consulting and Technology, Inc.
Address: 1408 N. Westshore Blvd., Suite 115
City: Tampa State: Florida Zip: 33607
Home Telephone: N/A Work Telephone: N/A
Cell Phone: 813-317-8644 E-mail Address: bgray@ectinc.com
Will this individual be the representative to accompany staff during the site inspection? ☒ yes ☐ no

D. Individual Who Established the Boundary Line

Last Name: Gray First Name: Brandon Middle:
Title: Staff Scientist III Company: Environmental Consulting and Technology, Inc.
Address: 1408 N. Westshore Blvd., Suite 115
City: Tampa State: Florida Zip: 33607
Home Telephone: N/A Work Telephone: N/A
Cell Phone: 813-317-8644 E-mail Address: bgray@ectinc.com
Will this individual be the representative to accompany staff during the site inspection? ☒ yes ☐ no

Part 2: Project Information

A. Name of Property/Project: Drifton PV 1 _____ Acreage: 881.81

Address: N/A - approximately between 800 and 2600 Aucilla Road

City: Drifton County: Jefferson Zip: 32344

Tax Parcel ID Nos.: 12-1N-4E-0000-0014-0000, 07-1N-5E-0000-0010-0000, 08-1N-5E-0000-0011-0000, 08-1N-5E-0000-0030-0000, 07-1N-5E-0000-001B-0000, 07-1N-5E-0000-001C-0000, 07-1N-5E-0000-0020-0000, 07-1N-5E-0000-001D-0000, and 07-1N-5E-0000-002P-0000

Section/Township/Range: Section 12, Township 1N, Range 4E and Sections 7,8, and 17 Township 1N, Range 5E _____

B. Amount of Fee Submitted: **\$4,377.22**

C. If the project includes any areas for which Agency permits, applications, declaratory statements, or Consent Orders have been received, list name, file numbers, type of activity, and provide a copy of all pertinent documents:

DEP: _____

WMD: _____

Corps: _____

D. Have you had a pre-application conference with Agency Staff? ☐ yes ☒ no

If yes, with whom? _____ Date(s): _____

For What Purpose? _____

E. Have any Agency Staff or USDA/NRCS soil science personnel previously visited the site? ☐ yes
☐ no ☒ I'm not sure

If yes, with whom? _____ Date(s): _____

For What Purpose? _____

F. Briefly describe past and present land use activities within the boundaries of the property for which this determination is sought. **Primarily pasture and pine plantation activities since pre-1949. Current use is pine plantation with several areas recently harvested. East to west powerline easement cleared pre-1972, and north to south powerline easement cleared pre-1949.**

G. Please provide an original USGS Topo Quad(s) with the property boundaries depicted. USGS Topo Quad Map(s) Name: **Monticello Quad – Figure 1**

H. Please submit three copies (no photocopies) of the most recent aerial photographs at a scale of 1 in. equals 200 ft. or more detailed which accurately reflect the current conditions on site. Clearly delineate on the photos the boundaries of the area to be inspected. Show on at least one aerial the direction of surface water flow throughout the property, all major roads, and the north bearing. The date and scale of the attached photo(s) is: **Figure 5**

I. Provide a copy of a USDA/NRCS(SCS) soil survey with the project boundaries delineated, if available for the county. The Sheet No.(s) of the soil survey is: **Figure 2**

J. Property boundaries must be clearly flagged or marked in the field prior to the site inspection. Indicate how the boundaries will be identified: **boundaries are fenced and background file in GPS**

K. Attach documentation showing petitioner's legal or equitable interest in the property, or if petitioner has the power of eminent domain, please indicate, on an attached paper, by what authority petitioner has such power. **See Attachment A.**

L. Attach a legal description of the property for which this determination is sought. **To be determined after site review.**

M. Select the form (type) of verification requested for the formal determination (see section 7.2.2(e) of Applicant's Handbook Volume I):

☒ a certified survey, ☐ an approximate delineation, ☐ a combination (certified survey and approximate delineation)

If a combination is requested, please clearly identify the portions of the determination that will be processed by certified survey and the portions that will be processed by approximate delineation.

In order for your petition to be deemed complete, the Agency must receive the verified delineation as described in section 7.2.2(e) of Applicant's Handbook Volume I.

Part 3: Certification

- A. I certify that the petitioner has a legal or equitable interest in the property or that the petitioner is an entity which has the power of eminent domain.
- B. I understand I have to provide any additional information/data that may be necessary to complete this petition.
- C. I am familiar with the information contained in this petition, and to the best of my knowledge and belief, such information is true, complete, and accurate. I further certify that I possess the authority to petition for a formal determination in accordance with Section 373.421, F.S., or am acting as the duly authorized agent of person with such authority. I understand that knowingly making any false statement or representation in this petition is a violation of Chapter 373, F.S., and Chapter 837, F.S.

Brandon Gray
Typed/Printed Name of Petitioner or Agent



Signature of Petitioner or Agent

Staff Scientist III
Corporate Title (if applicable)

05/08/2020
Date

An agent may sign above if the petitioner completes the following:

I hereby designate and authorize the agent listed above to act on my behalf as my agent in the processing of this petition for a formal determination and to furnish, upon request, supplemental information in support of the petition. I am familiar with the information contained in this petition, and to the best of my knowledge and belief, such information is true, complete, and accurate. I further certify that I possess the authority to petition for a formal determination in accordance with section 373.421, F.S. I understand that knowingly making any false statement or representation in this petition is a violation of Chapter 373, F.S., and Chapter 837, F.S.

Katie Wanka
Typed/Printed Name of Petitioner


Signature of Petitioner

Senior Permitting Manager
Corporate Title (if applicable)

5/18/2020
Date

Person authorizing access to the property must complete the following:

I certify that I either own the property described in this petition or I have legal authority to allow access to the property, and that I consent to a formal determination being made on the property as described in Chapter 62-340, F.A.C. I authorize representatives or personnel from the Agency to enter the property as many times as may be necessary to make the formal determination and I will provide access throughout the property sufficient to perform the determination. I agree to indemnify and defend the Agency for all liability it may incur from accessing the property including, but not limited to, actions for trespass. I will attach to this petition documentation demonstrating that I am the owner of the property or that I have legal authority to allow access to the property.

Katie Wanka
Typed/Printed Name of Petitioner


Signature

Senior Permitting Manager
Corporate Title (if applicable)

5/18/2020
Date

Proof of Interest in Property

FIRST AMENDMENT TO OPTION TO PURCHASE AGREEMENT

This FIRST AMENDMENT TO OPTION TO PURCHASE AGREEMENT ("First Amendment") is made June 29, 2017, by and between LLOYD W CHAMBERLIN III (the "Seller") and Fresh Air Energy II, LLC ("Buyer"), with reference to the facts set forth in the recitals below:

RECITALS

A. Seller and Buyer entered into that certain Option to Purchase Agreement, fully executed December 28nd 2015 ("Agreement") to construct and operate a Renewable Energy Facilities ("Facility") on the Seller's Property (Parcel number 08-1N-5E-0000-0011-0000).

B. The Seller and Buyer desire to: (i) amend the Agreement to extend the Option Term and amend the Purchase Price.

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

AGREEMENT

1. Recitals Incorporated; Certain Defined Terms. The recitals set forth above are incorporated in this Section 1 and shall be deemed terms and provisions hereof. Each capitalized term set forth in this First Amendment that is not otherwise defined herein shall have the meaning ascribed to it in the Agreement.

2. Amendments to the Agreement.

WHEREAS, Seller and Buyer desire to add additional land to the Property which include additional parcel numbers: 12-1N-4E-0000-0014-0000, and 07-1N-5E-0000-0010-0000 in the County of Jefferson, State of Florida (the "Property"). WHEREAS, lands to be sold to Fresh Air Energy II, LLC lie north of County Road 158. Seller desires to sell to Buyer and Buyer desires to purchase from Seller the entire parcels, consisting of 648.59 acres for the amended price of [REDACTED]. The Property is described more particularly in EXHIBIT "A", attached hereto and incorporated herein;

OPTION TERM & PAYMENT. Section 1 of the Agreement shall be amended as follows: For good and valuable consideration of [REDACTED] ("Option Payment") as nonrefundable option consideration which shall be paid to Seller from Buyer within thirty (30) days of this First Amendment being fully executed by Seller and Buyer. Seller shall provide Buyer three (3) – additional twelve (12) month extensions from December 28, 2017 to December 28, 2020 for an Option Payment of [REDACTED] per term paid to Seller within thirty (30) days of the request for each requested Option Term.

3. CONTINUED EFFECT. Except as specifically modified by this First Amendment, all of the terms and conditions of the Agreement shall remain in full force and effect. In the event of a conflict between any term and provision of the Agreement and this First Amendment, the terms and provisions of this First Amendment shall control. In addition, except as otherwise stated in this First Amendment, all initially capitalized terms will have the same respective defined meaning stated in the Agreement. All captions are for reference purposes only and shall not be used in the construction or interpretation of this First Amendment.

IN WITNESS WHEREOF, Seller and Buyer have caused this FIRST AMENDMENT TO OPTION TO PURCHASE AGREEMENT to be executed by each party's duly authorized representative effective as of the date first above written.

End / [Signature]
[Signature]

SELLER

LLOYD W CHAMBERLIN III

By: Lloyd W. Chamberlin III

LLOYD W CHAMBERLIN III

Date: 6-30-2017

Phone Home 813-962-7843 Phone Cell 813-299-6939

Email bchambe1@verizon.net

BUYER

FRESH AIR ENERGY II, LLC

By: Ecoplexus, Inc., its Managing Member

By: Erik Stuebe

Erik Stuebe, President

Date: _____

Erik Stuebe
for

EXHIBIT A

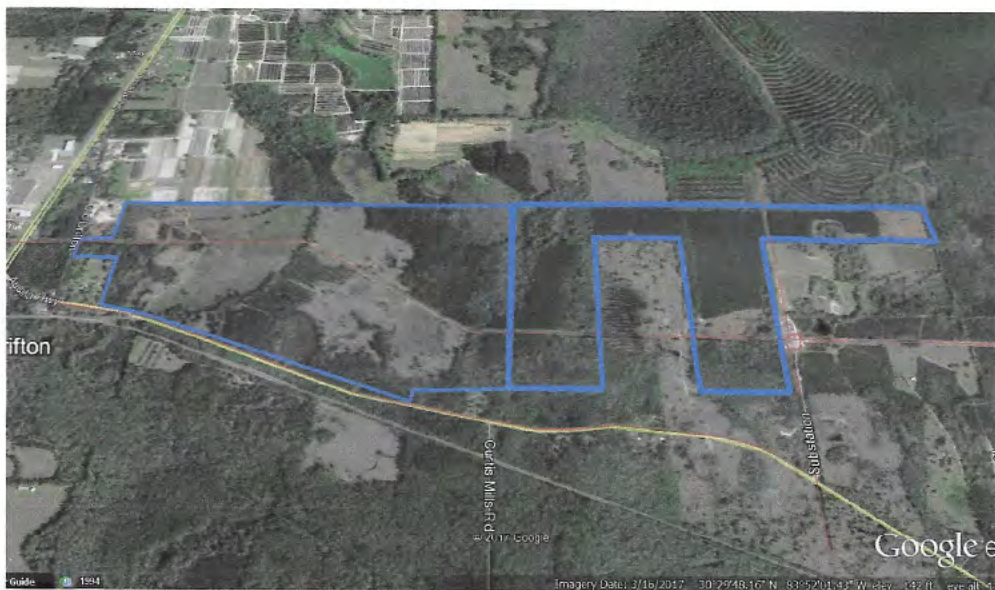
LEGAL DESCRIPTION OF THE PROPERTY

Parcel 08-1N-5E-0000-0011-0000
SEC/TWN/RNG/MER:SEC 8 TWN 1N RNG 5E

Parcel 07-1N-5E-0000-0010-0000
S2/3 Of Sec E Of Scl Rr Except Land Sold ---Orb 168 P

Parcel 12-1N-4E-0000-0014-0000
E/12 Of E1/2 (1/2 Int) Orb 529 P 531 & 639 P 398 &

The purchased area of 648.59 acres is as noted below in the map. Final area will be determined as a surveyed parcels and site plan as developed solely by the Buyer.



Eric Frank
Per

FIRST AMENDMENT TO OPTION TO PURCHASE AGREEMENT

This FIRST AMENDMENT TO OPTION TO PURCHASE AGREEMENT ("First Amendment") is made June 29, 2017, by and between LLOYD W CHAMBERLIN III (the "Seller") and Fresh Air Energy II, LLC ("Buyer"), with reference to the facts set forth in the recitals below:

RECITALS

B. The Seller and Buyer desire to: (i) amend the Agreement to extend the Option Term and amend the Purchase Price.

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

AGREEMENT

1. Recitals Incorporated; Certain Defined Terms. The recitals set forth above are incorporated in this Section 1 and shall be deemed terms and provisions hereof. Each capitalized term set forth in this First Amendment that is not otherwise defined herein shall have the meaning ascribed to it in the Agreement.

2. Amendments to the Agreement.

WHEREAS, Seller and Buyer desire to add additional land to the Property which include additional parcel numbers: 12-1N-4E-0000-0014-0000, and 07-1N-5E-0000-0010-0000 in the County of Jefferson, State of

OPTION TERM & PAYMENT. Section 1 of the Agreement shall be amended as follows: For good and

3. CONTINUED EFFECT. Except as specifically modified by this First Amendment, all of the terms and conditions of the Agreement shall remain in full force and effect. In the event of a conflict between any term and provision of the Agreement and this First Amendment, the terms and provisions of this First Amendment shall control. In addition, except as otherwise stated in this First Amendment, all initially capitalized terms will have the same respective defined meaning stated in the Agreement. All captions are for reference purposes only and shall not be used in the construction or interpretation of this First Amendment.

IN WITNESS WHEREOF, Seller and Buyer have caused this FIRST AMENDMENT TO OPTION TO PURCHASE AGREEMENT to be executed by each party's duly authorized representative effective as of the date first above written.

End / [Signature]
[Signature]

SELLER

LLOYD W CHAMBERLIN III

By: Lloyd W. Chamberlin III

LLOYD W CHAMBERLIN III

Date: 6-30-2017

Phone Home 813-962-7843 Phone Cell 813-299-6939

Email bchambe1@verizon.net

BUYER

FRESH AIR ENERGY II, LLC

By: Ecoplexus, Inc., its Managing Member

By: Erik Stuebe

Erik Stuebe, President

Date: _____

Erik Stuebe
for

EXHIBIT A



Erik Frank
Rice

FLORIDA

)

)

JEFFERSON COUNTY

)

CONTRACT FOR PURCHASE

AND SALE OF REAL PROPERTY

THIS CONTRACT FOR PURCHASE AND SALE OF REAL PROPERTY (the "Contract") is made and entered into as of the 25th day of March 2020, by and between LARRY G WOODS FAMILY TRUST, (hereinafter "SELLER"), FRESH AIR ENERGY II, LLC, a California Limited Liability Company (hereinafter called "BUYER") Seller and/or Buyer may be referred to as "party" or "parties".

WITNESSETH:

WHEREAS, Seller is the owner of that certain real property, located in Monticello, Jefferson County, Florida, consisting of approximately 232 acres located on Aucilla Road as more particularly described in Exhibit A hereto, together with all easements and other rights connected to the real property (collectively, the "Property"); and

1. **Sale of the Property.** The Seller hereby agrees to sell and convey and Buyer agrees to purchase and take title to the Property.

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

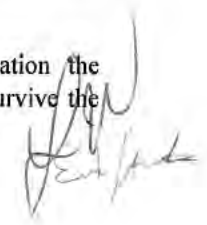
JW
J. E. [Signature]

3. **Inspection.** Buyer shall have an inspection period lasting until Closing (the "Inspection Period") commencing with the Date of Acceptance of this Contract within which to inspect the Property, conduct tests, make investigations, confer with governmental officials and undertake such other evaluations or tests of the Property as Buyer in its sole discretion deems necessary including without limitation to determine the environmental condition of the Property, and if the Property complies with the intended uses, purposes and desires of Buyer. Seller agrees to cooperate with Buyer and supply such historical and operational information as may be reasonably requested by Buyer concerning the Property, including without limitation, any copies of existing environmental assessments, and will make available to Buyer persons with knowledge of the Property. During the Inspection Period and at any time thereafter prior to the Closing, Buyer may enter upon the Property to make surveys of the Property, drive test piles and make test borings, make percolation tests and other tests and inspections as may be necessary to determine whether the Property complies with environmental laws and with the intended uses, purposes and desires of Buyer. Buyer agrees to restore the Property as much as reasonably practical to its condition existing before such tests, surveys and inspections. Buyer has the unilateral right to terminate this Contract for any reason up to the Closing due to any unforeseen circumstances.

4. **Environmental Matters.** (a) As used in this Contract, the terms stated hereinafter shall be defined as follows: (i) "Environmental Liabilities" shall mean all legal duties (such as the duty to remediate environmental contamination) and all financial or other liabilities, whether in the form of compensatory damages, punitive damages, or response, removal, or remedial action, cost recoveries, fines, administrative penalties, or otherwise arising out of or related to a Release, as defined herein, or to any violation of any Environmental Law, as defined herein, whether or not such violation has or will result in an Enforcement Action, as defined herein; (ii) "Environmental Law" shall mean any federal, state, county or local law, statute, rule, regulation, or ordinance concerning public health, safety, or the environment; (iii) "Environmental Contaminant" shall mean any pollutant, any hazardous or toxic substance, material, or waste, or any contaminated material including, without limitation, petroleum and petroleum products; asbestos and asbestos-containing materials, urea formaldehyde foam, electrical transformers or other equipment containing polychlorinated biphenyls ("PCB's"), flammable, explosive, or radioactive materials, or any other material or substance designated or regulated as or having the characteristics of a hazardous or toxic substance, material, or waste, or designated or regulated as a pollutant or contaminant under any Environmental Law; (iv) "Enforcement Action" means any action, proceeding, or investigation instituted by the United States Environmental Protection Agency, the United States Department of Justice, the Federal Bureau of Investigation, the North Carolina Department of Environment, Health, and Natural Resources, the Office of the North Carolina Attorney General, or any other federal, state, or local governmental agency related to any suspected or actual Release, as defined herein, in violation of any Environmental Law with respect to the Property or any activities conducted thereon; and (v) "Release" means any spilling, leaking, migrating, pumping, pouring, emitting, emptying, discharging, injecting, escaping, leaching, dumping, or disposing into the environment of any Environmental Contaminant attributable to the Seller, its predecessors in title, or any tenant at or operator on the Property or those in privity with any of them or any other person.

(b) Limited to Seller's actual knowledge, the Seller makes the following environmental representations and warranties to the Buyer: (i) No Environmental Contaminant has been used, placed, or Released on the Property in violation of applicable Environmental Laws; (ii) No notice has been received by the Seller, or other tenant at or operator of the Property with regard to the presence of any Environmental Contaminant in or on soil, surface water, or groundwater at the Property; (iii) The Property is currently in compliance with all Environmental Laws; (iv) No action, investigation, or proceeding is currently pending or threatened that seeks to enforce, under any Environmental Law, any right or remedy against the Seller, its predecessors in title, or any tenant at or operator of the Property or any other person. Seller agrees to furnish Buyer with copies of all reports, tests, studies and surveys obtained or made by Seller with respect to the Property.

The terms and provisions of this paragraph 4 (including without limitation the indemnification provisions hereof) shall continue in full force and effect and shall survive the Closing.



5. **Additional Conditions to Closing.** The following are conditions precedent to Buyer's obligations hereunder and may be waived by Buyer at its sole option:

(a) **Title.** Title shall be delivered at Closing in accordance with Paragraph 7 hereof.

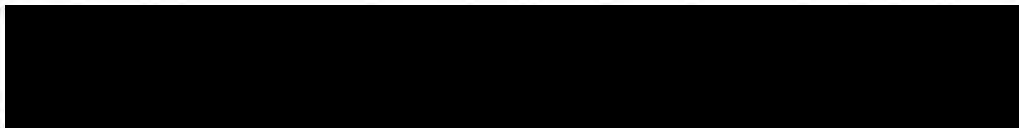
(b) **Seller's Representations/Warranties.** The covenants, representations and warranties of Seller in this Contract shall be true and correct in all material respects both on the date hereof and as of the Closing as though made at such time.

(c) **Non-foreign Status.** Seller shall deliver a certification of non-foreign status pursuant to Section 1445(b)(2) of the Internal Revenue Code, as amended (the "Code").

(d) **Environmental Matters.** The Property must be in compliance with all applicable Environmental Laws.

(e) **Form 1099-S.** Seller shall have delivered an IRS Form 1099-S Disclosure Statement (if required under the Code).

(f) **Utility Easements.** The Property shall have all necessary utility easements to service the Property for its intended use by Buyer.



7. **Title Matters.** (a) Title to the property must be delivered at Closing by general warranty deed (the "Deed") and must be fee simple marketable title insurable by a title insurance company reasonably acceptable to Buyer at then current rates, free of all liens and encumbrances except ad valorem taxes for the current year, the title exceptions which are listed on Exhibit "B" and incorporated herein by reference, any subsequent exception(s) revealed by an update of the title of the Property that do not materially affect the value of the Property and such other encumbrances as may be specifically approved by Buyer.

(b) If Buyer's update of the title of the Property reveals a title exception that materially affects the value of the Property or any other title exception not specifically approved by Buyer (an "Objectable Exception"), Buyer shall immediately notify the Seller if it is unwilling to waive any such Objectable Exception. If Buyer so notifies Seller that Buyer is unwilling to waive any such Objectable Exception, then Seller shall have the option of: (i) acting to remove any such Objectable Exception at or prior to Closing; (ii) providing Buyer a closing credit in an amount mutually agreed upon by Seller and Buyer; or (iii) refusing to act to remove any such Objectable Exception at or prior to Closing. Seller shall give written notice of its election to Buyer within five (5) business days after Buyer gives written notice of any Objectable Exception as provided above. If Seller elects not to act to remove any Objectable Exception, or if Seller elects to act to remove but fails to remove such Objectable Exception, at or prior to Closing or to provide a closing credit, then Buyer shall have the option of: (A) accepting the Property subject to any such Objectable Exception; or (B) terminating this Contract. Buyer shall give written notice of its election to Seller within five (5) business days after receiving Seller's notice as provided above. In the event Buyer elects to cancel this Contract, the parties shall be relieved of all further obligations hereunder.

(c) All mortgages, security deeds and other security instruments encumbering or against the Property must be paid and cancelled by Seller at or prior to Closing.

8. **Representations and Warranties of Seller.** Seller hereby makes the following representations and warranties to Buyer as follows:

- (a) Seller is a Family Trust in the State of Florida.
- (b) The current use, occupancy, and operation of the Property is in full compliance with applicable building codes, zoning and land use laws, and other local, state or federal laws and regulations. All licenses and permits required by any governmental authority having jurisdiction over the Property have been validly issued and are in full force and effect.
- (c) Seller owns and shall own at the date of Closing a marketable and insurable fee simple title to the Property subject only to those exceptions listed in Paragraph 7 above;
- (e) Seller has entered into no agreement, oral or written, not referred to herein, with reference to the Property and neither Seller nor the Property are subject to any claim, demand, suit, unfiled lien, proceeding or litigation of any kind, pending or outstanding, or limited to the actual knowledge of Seller, threatened or likely to be made or instituted which relates to the Property, which would in any way be binding upon Buyer or its successors or assigns or the Property or affect or limit Buyer or its successors or assigns in the full use and enjoyment of the Property or which would limit or restrict in any way Seller's right or ability to enter into this Contract and consummate the sale and purchase contemplated hereby; and
- (f) There are no taxes, charges or assessments of any nature or description which would constitute a lien against the Property that will be unpaid at the date of Closing, except for the lien of *ad valorem* property taxes to become due to the Jefferson County, Florida for the year of Closing.
- (g) Seller is not prohibited from consummating the transactions contemplated hereby and is not a "foreign person" as defined in Section 1445(f) of the Code.

9. **Agreements Concerning Brokerage.** Except as set forth on Exhibit D, there are no brokerage commissions that either party is aware of in connection with this transaction. Any and all commissions identified on Exhibit D shall be payable by the responsible party identified thereon. Buyer and Seller agree if any claims for any brokerage commissions, finders fees or similar payments to any party arise, they shall each indemnify and hold harmless the other for any and all such claims arising out of their respective actions or the actions of such Party's respective agent(s).

10. **Labor and Materials.** At Closing, Seller shall furnish to the title insurance company selected by Buyer an affidavit and indemnification agreement in form satisfactory to that title insurance company showing that all labor and materials furnished to the Property within any statutory lien period prior to the date of Closing have been paid for and agreeing to indemnify such title insurance company from any cause or claim arising therefrom.

11. **Closing Expenses/Prorations.** Seller shall pay for the preparation of a deed, for the excise tax (revenue stamps) required by law and its own attorneys' fees. Buyer shall be responsible for its attorneys' fees, all inspection costs, title insurance premium and cost of a survey. The parties agree that all *ad valorem* taxes for the year of Closing, and all other expenses related to the Property shall be prorated to the date of Closing.

12. **Notices.** All notices which may be given under this Contract or which are required to be given hereby must be given in writing and in order to be effective must be sent by certified or registered mail, return receipt requested, postage prepaid; overnight delivery service

or must be actually delivered by hand or courier service; as follows:

SELLER:

Larry G Woods Family Trust
Larry Woods
4721 E Washington Street
Monticello, FL 32344
352-430-5314
Larry352woods@gmail.com

With copy to:

*Larry Woods
2525 S. 42nd St.
Duncan, OK 73533*

BUYER: Fresh Air Energy II, LLC
c/o Erik Stuebe, Authorized Signatory
101 Second Street, Suite 1250
SF, CA 94105
(415) 626-1802

With copy to:

_____ attorney

The date of giving of notice, unless this Contract requires receipt of notice, shall be deemed three days after the date on which a certified or registered mailing, postage prepaid, is deposited in the exclusive custody of the United States Postal Service. If overnight delivery service is used then the date of giving notice shall be deemed the next day. If hand delivery, private courier or other method of delivery of notice is employed, then the date of giving of notice shall be deemed the date of actual delivery.

13. **Risk of Loss.** The risk of loss or damage by fire or other casualty on the Property prior to the Closing shall be upon Seller.

14. **Eminent Domain.** If prior to the Closing (i) all of the Property or (ii) any part of the Property or Improvements that materially impairs the intended use of the Property is taken by eminent domain or becomes the subject of a condemnation proceeding, then either party shall have the option by written notice to the other party, to terminate this Contract. If (1) any part of

the Property or Improvements that does not materially impair the intended use of the Property is taken by eminent domain or becomes the subject of a condemnation proceeding or (2) if neither party elects to terminate this Contract in accordance with the first sentence of this Paragraph, this Contract shall remain in full force and effect, and Seller shall assign, transfer and set over to Buyer at the Closing all of Seller's right, title and interest in and to any awards that have been or may be made for such taking.

15. **Assignment.** Except that Buyer may, upon written notice to Seller, assign this Contract to a corporation, limited liability company or partnership in which Buyer is a shareholder, member or partner or to the individual partners of the Seller, this Contract may not be assigned without the written consent of the parties, which consent can be withheld by any party for any reason in such party's sole discretion, but if assigned by agreement, then this Contract shall be binding on the assignee, as well as the heirs and successors of the assignee.

16. **Invalid Provisions.** The invalidity or unenforceability of any particular provision of this Contract shall not affect any other provision hereof, and this Contract shall be construed in all respects as if such invalid or unenforceable provisions were omitted.

17. **Parties.** This Contract shall be binding upon and shall inure to the benefit of the parties and their respective heirs, successors and assigns (as the case may be). As used herein, words in the singular include the plural and the neuter gender includes the feminine and the masculine genders, as appropriate.

18. **Survival.** If any provision herein contained which by its nature and effect is required to be observed, kept or performed after the Closing, those provisions shall survive the Closing and remain binding upon and for the benefit of Buyer and Seller hereto until fully observed, kept or performed.

19. **Entire Agreement.** This Contract together with the exhibits hereto contains the entire agreement of the parties and there are no representations, inducements or other provisions other than those expressed in writing. All changes, additions or deletions hereto must be in writing and signed by both Buyer and Seller.

20. **Recordation of Memorandum.** Buyer and Seller agree to execute a memorandum of this Contract in recordable form at the request of the other party, and either party, at its sole option may cause such memorandum of this Contract to be recorded in the appropriate office of Jefferson County, Florida. The cost of recording such memorandum shall be borne by the party causing it to be recorded.

21. **Counterparts.** This Contract shall be signed in multiple counterparts, each of which when so executed and delivered shall be an original, but all such counterparts shall together constitute one and the same instrument. This Contract may also be signed by facsimile, provided a scan of such execution is promptly forwarded to the other party.

22. **Governing Law.** This Contract shall be governed by and construed under the substantive laws of the State of Florida, without regard to its choice of law rules.

23. **Captions and Headings.** The captions and headings of this Contract are for convenience and reference only and the words contained therein shall not define or add to the interpretation, construction or meaning of any provisions of this Contract.

24. **Evidence of Title.** Seller agrees to use its best efforts to deliver to Buyer as soon as possible after execution of this Contract, copies of all title information in possession of or available to Seller, including but not limited to: title insurance policies, attorney's opinions on title, surveys, site plans, covenants, deeds, notes and deeds of trust and easements relating to the

Property.

IN WITNESS WHEREOF, the parties hereto have caused this Contract to be executed and sealed as of the date and year first above written.

SELLER:

Larry G Woods Family Trust

By: Larry G Woods

Date: MARCH 31, 2020

BUYER:

Fresh Air Energy II, LLC

By: Erik [Signature]

Date:

Exhibit "A"

Legal Description of Property

Parcel Numbers 17-1N-5E-0000-002P-0000, 08-1N-5E-0000-0030-0000, 17-1N-5E-0000-001B-0000,
17-1N-5E-0000-0020-0000, 17-1N-5E-0000-001C-0000, 17-1N-5E-0000-001D-0000

Parcel Number 17 1N 5E 0000 002P 0000

LEGAL DESCRIPTION OF THE PROPERTY
3.25 Acres In N1/2 Orb 601 P 14 & 607 P 317

Parcel Number 08-1N-5E-0000-0030-0000
LEGAL DESCRIPTION OF THE PROPERTY
74.02 Acres E1/2 Of Sw1/4 Less Ptn In S1/2 Of S1/4 Of Sw1/4--Orb56 P787

Parcel Number 17-1N-5E-0000-001B-0000
LEGAL DESCRIPTION OF THE PROPERTY
26.64 Acres In Ne1/4 N Of Rd Orb 56 P787 & 708 P512 & 710

Parcel Number 17-1N-5E-0000-0020-0000
LEGAL DESCRIPTION OF THE PROPERTY
55.10 Acres In N1/2 Ex Rr Rw S Of Hwy 158 Orb 601-14 & 607-317 & 726-449

Parcel Number 17-1N-5E-0000-001C-0000
LEGAL DESCRIPTION OF THE PROPERTY
47.53 Acres In Ne1/4 N Of Rd Orb 56 P787 & 708 P512 & 710

Parcel Number 17-1N-5E-0000-001D-0000
LEGAL DESCRIPTION OF THE PROPERTY
26.16 Acres In Ne1/4 N Of Rr Rw S Of Hwy 158 Orb 601-14 & 607-317

The estimated purchased area is noted below in the map.



Exhibit "B"

("Title Exceptions")

[Handwritten signature]
Eric [unclear]

FIGURES

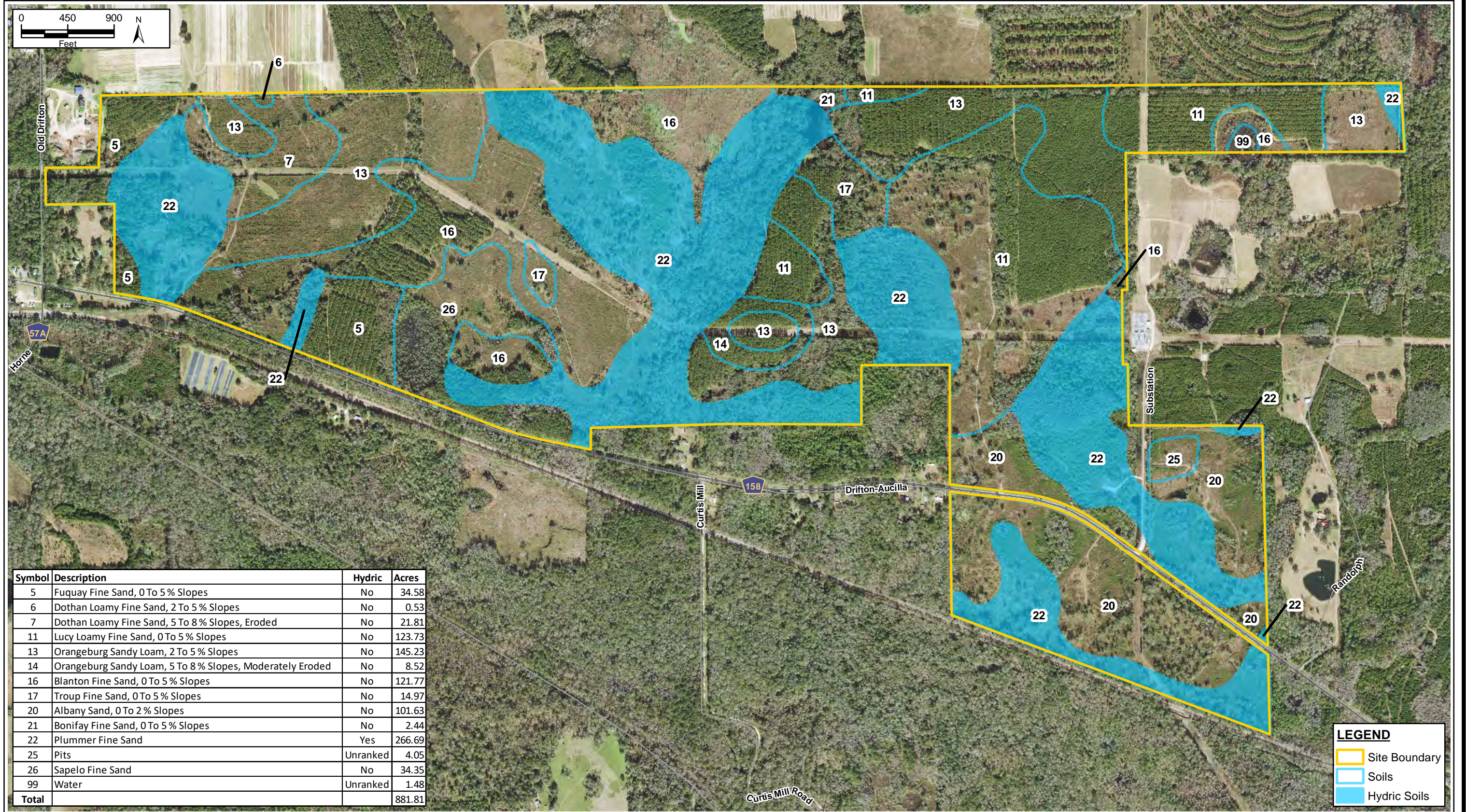


FIGURE 2.
SOILS MAP
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: USDA, 2018; FDOT, 2019; ECT, 2020.

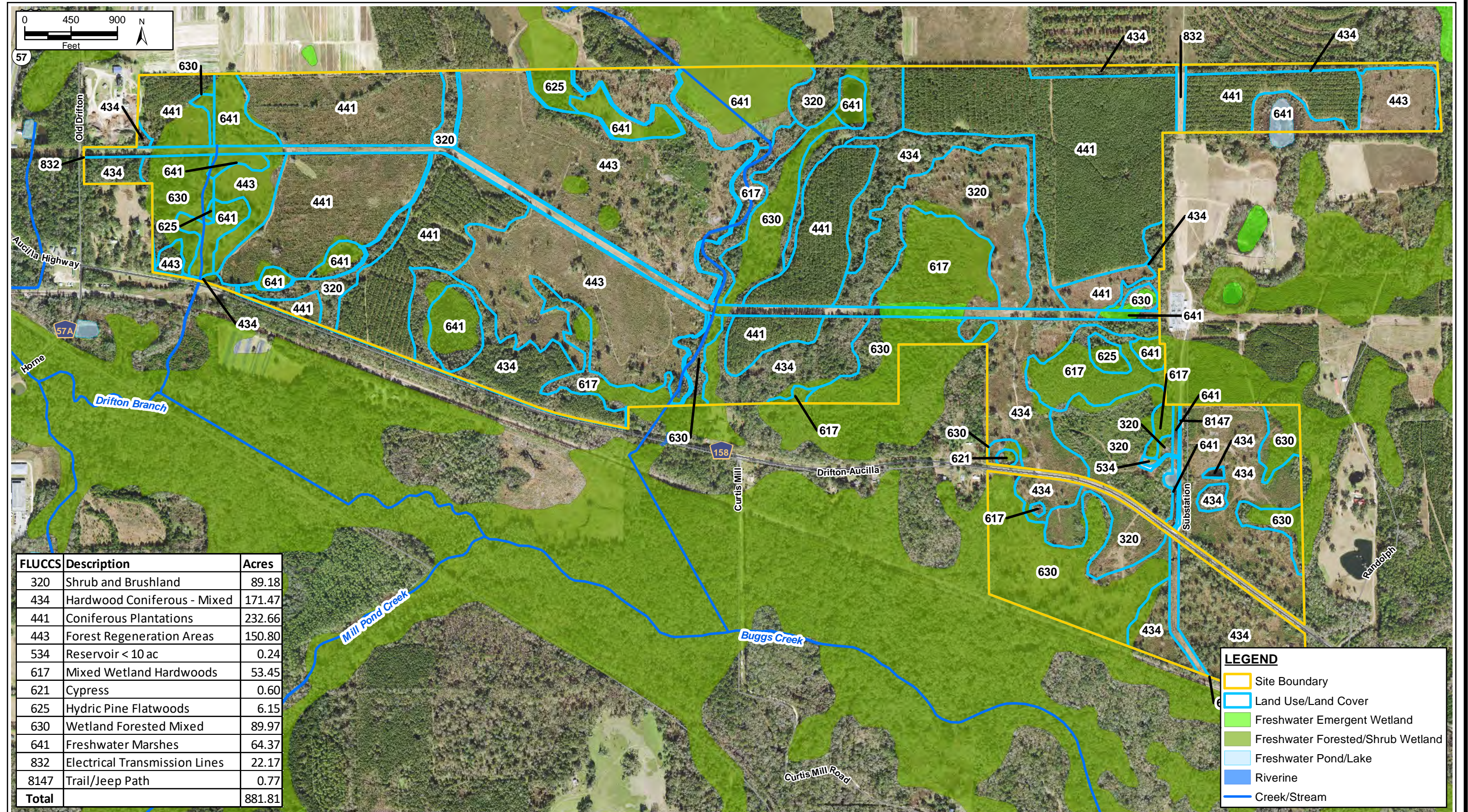


FIGURE 3.
LAND USE AND NWI MAP
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: SRWMD, 2019; FDOT, 2019; ECT, 2020.



FIGURE 4.
WETLANDS AND SURFACE WATERS MAP
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: SRWMD, 2019; FDOT, 2019; ECT, 2020.

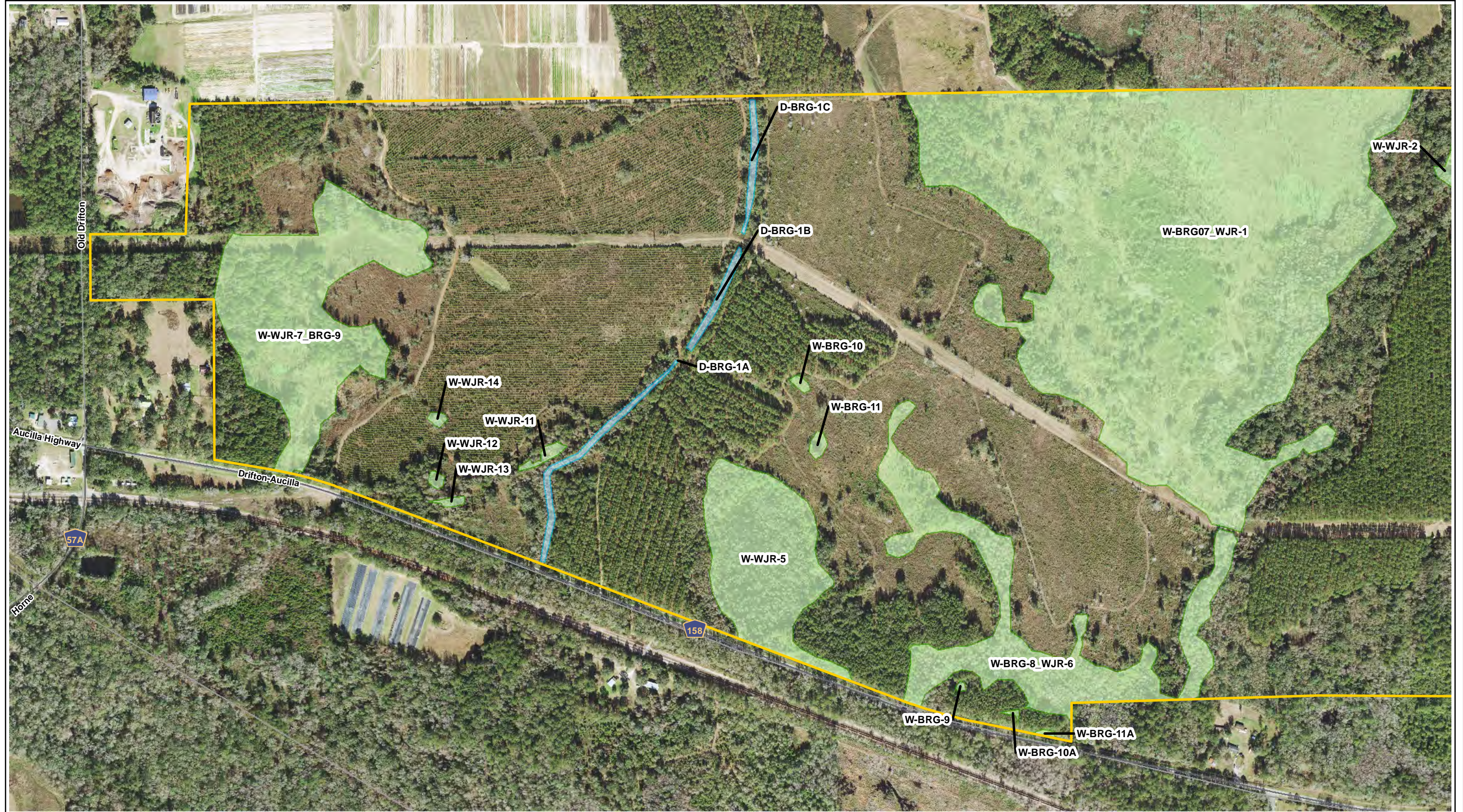
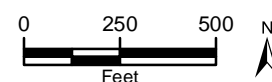


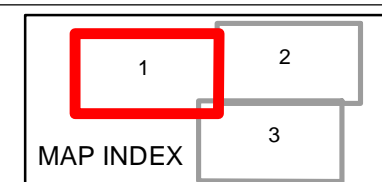
FIGURE 5. MAP 1 OF 3
WETLANDS AND SURFACE WATERS MAP
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: SRWMD, 2019; FDOT, 2019; ECT, 2020.



LEGEND

- Site Boundary
- Wetland
- Ditch



ECT Environmental Consulting & Technology, Inc.

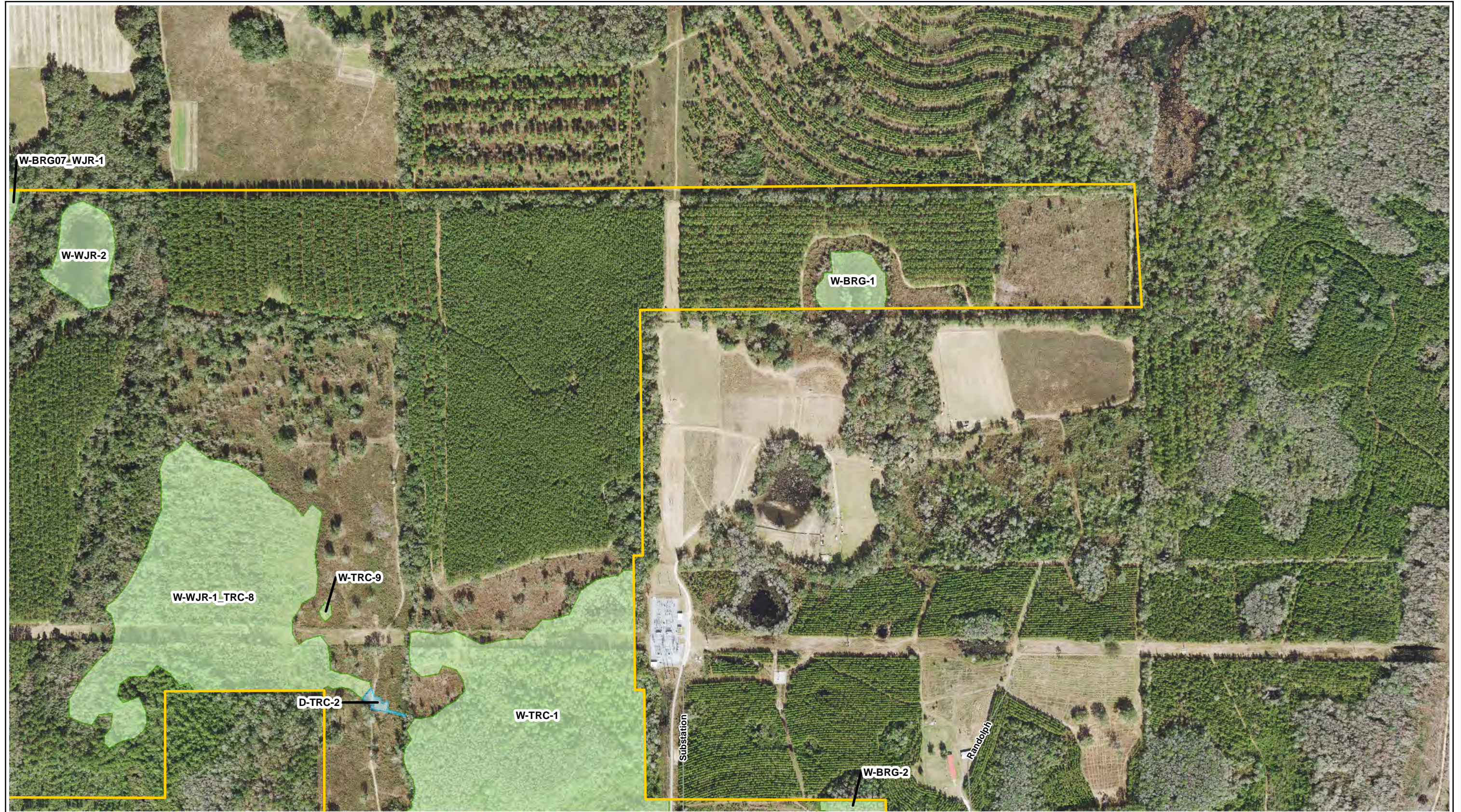
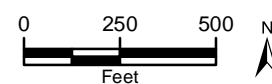


FIGURE 5. MAP 2 OF 3
WETLANDS AND SURFACE WATERS MAP
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: SRWMD, 2019; FDOT, 2019; ECT, 2020.



LEGEND

- Site Boundary
- Wetland
- Ditch

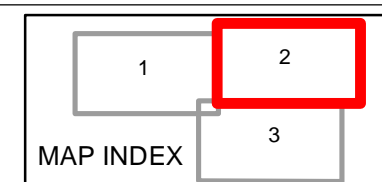
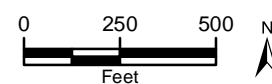




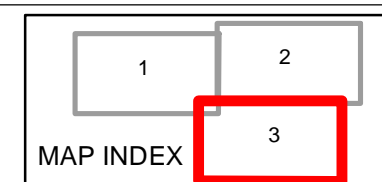
FIGURE 5. MAP 3 OF 3
WETLANDS AND SURFACE WATERS MAP
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: SRWMD, 2019; FDOT, 2019; ECT, 2020.



LEGEND

- | | |
|---|--|
| Site Boundary | Surface Water |
| Ditch | Wetland |



ECT Environmental
Consulting &
Technology, Inc.

To: Heloise Hedlund, Permitting Specialist, Ecoplexus, Inc.
From: Katherine L. Burnett, Ph.D., RPA, Environmental Consulting & Technology, Inc. (ECT)
Date: June 9, 2020
Re: Drifton Solar Project Cultural Resources Desktop Review
ECT Project No. 200128

At the request of Ecoplexus, Inc. (Ecoplexus), Environmental Consulting & Technology, Inc. (ECT) conducted a cultural desktop survey and a high probability desktop analysis for an approximately 881.8-acre property east of Drifton in Jefferson County, Florida, using methods consistent with the Florida Division of Historical Resources (FDHR)'s Module Three: Guidelines for Use by Historic Preservation Professionals (FDHR 2003). The desktop survey was conducted to determine if archaeological, architectural, tribal, and/or other cultural background records existed for the project area plus a one-mile buffer around the project area. The high probability desktop analysis was conducted to determine High Probability Zones (HPZs), Moderate Probability Zones (MPZs), and Low Probability Zones (LPZs) within the project area to aid in the planning of potential future archaeological fieldwork.

ECT reviewed available data from the National Register of Historic Places (NRHP) and National Historic Landmark (NHL) records maintained by the National Park Service (NPS); data provided from the Florida Master Site File (FMSF) and State Historic Preservation Office (SHPO) databases on previously recorded surveys, archaeological sites, archaeological resource groups, cemeteries, historic structures, and historic bridges in the area; modern and historic United States Geological Survey (USGS) topographic maps; historic maps; current and historic aerial photography; the U.S. Geographic Names Information System Cemeteries geodatabase provided by Environmental Systems Research Institute (ESRI); soils data; and information regarding tribal locations and treaty records, historical trails, historical markers, and military records within the project area and the one-mile buffer. This review was conducted to ensure that project activities would have no adverse effect on NRHP listed or eligible archaeological or above-ground (architectural/historical) resources. It was also conducted to make sure

that no previously recorded cemetery/burial sites would be disturbed within the project area. Any known cemeteries or NRHP listed, eligible, potentially eligible, or unevaluated archaeological or above-ground (architectural/historical) resources within the project area would need to be avoided or mitigated.

The 881.8-acre project area is located in Section 12 of Township 1 North, Range 4 East and Sections 7-9 and 17-18 of Township 1 North, Range 5 East on the Lake Miccosukee, Lamont, Monticello, and Waukeelah 7.5-minute quadrangles (USGS 2018a; 2018b; 2018c; 2018d) (**Figures 1 and 4**). The project is located in the north-central portion of Jefferson County, Florida, approximately 0.6 km (0.3 mi) east of Drifton. The results of the cultural desktop survey and the high probability desktop analysis are summarized below.

Cultural Resources Surveys

Ten cultural resources surveys have been previously conducted within the one-mile buffer (FDHR 2020; **Figure 2; Table 1**). Two (2) of these surveys, Survey Numbers 19693 and 19694 for the Progress Energy DP1 Transmission Line Rebuild, were partially conducted within the southeastern portion of the project area. An additional study, Survey Number 26340, or the Aucilla Research Institute Jefferson County Historic Sites Survey, investigated all of Jefferson County, but only where cemeteries and historic structures were known to exist. This survey covered approximately 0.7 acres in the western portion of the project area. In total, approximately 6.6 acres of the 881.8-acre project area, or approximately 0.7 percent, have been previously surveyed for cultural resources.

Table 1. Cultural Resources Surveys within the Project Area and the One-Mile Buffer

Survey No.	Date	Author(s)	Title	Within Project Area?
601	1975	Jeanne Wolf Fryman	Jefferson County Survey, Above Cody Scarp	No
1945	1989	William G. Johnson, Ashley Swift, and George Avery	Archaeological Site Assessment Survey of the City of Monticello Wastewater Treatment Project, Jefferson County, Florida	No

Survey No.	Date	Author(s)	Title	Within Project Area?
3506	1993	Carl J. Clausen	Archeological Assessment of a Half (.50) Acre Proposed Borrow Area Located in Section 13, T1N, R4E, Jefferson County, Florida	No
7583	2000	Wendy A. Miller	Monticello	No
19693	2012	Matthew White and Kathryn Hickman	Cultural Resource Assessment Survey for the Progress Energy DP1 Transmission Line Rebuild, Jefferson and Madison Counties, Florida	Yes – SE Portion
19694	2012	Matthew White	Reconnaissance Level Cultural Resource Survey of the Progress Energy DP1 Transmission Line Rebuild, Jefferson and Madison Counties, Florida	Yes – SE Portion
23651	2017	Melissa Dye, Jessica Fish, David Ray, and Tricia Peone	Cultural Resource Assessment Survey in Support of the Proposed Replacement of the Curtis Mill Road Bridge (FDOT Bridge No. 5440077) over Buggs Creek, Jefferson County, Florida	No
25354	2018	Ryan Clark, Michael J. Foster, and Bryan Herling	Technical Memorandum: Cultural Resource Reconnaissance Survey for the Jefferson County TPAS Improvements, Monticello, Jefferson County, Florida	No
25371	2018	Jessica P. Fish and Bryan Herling	Cultural Resource Desktop Analysis and Field Review, SR 57 Bridges over CSX Railroad, Jefferson County, Florida	No
26340	2019	Willet A. Boyer, III, George Cole, and David Ward	Final Report on the Aucilla Research Institute Jefferson County Historical Sites Survey	Yes – W Portion

NRHP Results

No historic properties listed in the NRHP and no NHLs are located within the project area or within the one-mile buffer (NPS 2020). The closest historic property is located 3.8 km (2.4 mi) southwest of the project area. This is the Turnbull-Ritter House, which was listed in the NRHP in 1979.

Archaeological Sites

One (1) archaeological site has been recorded within the project area, and two (2) additional sites have been recorded within the one-mile buffer (FDHR 2020; **Figure 3; Table 2**). 8JEO2199, also known as the Chamberlain Plantation Site, is partially located within the western portion of the project area. While 8JEO2199 is a multi-component site dating from the Ft. Walton period (A.D. 1000-1500) to the 20th century, its recorders described it as “a Territorial Period/antebellum plantation site, in its original location” (Boyer 2019). The Chamberlain Plantation Site has not been evaluated for listing in the NRHP by the Florida SHPO; however, its recorder recommended it potentially eligible

for listing in the NRHP and potentially eligible as a contributor to a National Register district (Boyer 2019). In fact, Boyer (2019) writes, “[8JE02199] has tremendous potential to provide important information about lifeways during this period in this region.” The two (2) archaeological sites located within the one-mile buffer consist of an Archaic period campsite (8JE00222 or Pine Flat) and a prehistoric low density artifact scatter and extractive site (8JE00710 or Jumpy Run). Both of these sites have not been evaluated for NRHP listing by the Florida SHPO; however, 8JE00222 was recommended significant at the local level.

Table 2. Recorded Archaeological Sites within the Project Area and the Buffer

Site No.	Site Name	Description	Time Signature	SHPO Evaluation	Survey No.	Distance from Project Area
8JE00222	Pine Flat	Campsite	Prehistoric – Archaic Unspecified	Not Evaluated by SHPO (Recorder Recommended Significant at the Local Level)	-	0.9 mi S
8JE00710	Jumpy Run	Low Density Artifact Scatter; Extractive Site	Prehistoric – Aceramic	Not Evaluated by SHPO	1945	0.2 mi N
8JE02199	Chamberlain Plantation Site	Low Density Artifact Scatter; Agriculture/Farm; Building Remains; Homestead; Old Field (Historic); Plantation; Subsurface Features	Prehistoric – Ft. Walton (A.D. 1000-1500); Historic – African American; American Acquisition & Development (1821-1845); Statehood & Antebellum (1845-1860); Reconstruction (1866-1879); Post-Reconstruction (1880-1897); American – 19 th Century (1821-1899); American – 20 th Century	Not Evaluated by SHPO (Recorded Recommended Potentially Eligible for NRHP and Potentially Eligible as a Contributor to a National Register District)	26340	Partially within the W Portion of the Project Area

Resource Groups

No resource groups (archaeological or above-ground resources) have been recorded within the project area; however, two (2) resource groups have been recorded within the one-mile buffer (FDHR 2020; **Figure 3; Table 3**). Both of these resource groups are linear resources that follow the same railroad corridor. This corridor was originally recorded as 8JE01493, the Savannah, Florida & Western (SF&W)-CSX Railroad Corridor (Morrell and Cockrell 1995; Seinfeld 2013). Following research conducted in support of

the replacement of a bridge over the CSX railroad, Altes et al. (2018) recommended that 8JE01493 should consist of the 1888 route of the SF&W Railroad's Monticello Branch, which ran from the Georgia-Florida State Line south to Monticello, Florida, which is located approximately 4.0 km (2.5 mi) north of the project area. They recommended that 8JE01992 should consist of the Atlantic Coast Line (ACL) Railroad Perry Cutoff, which opened in 1927-1928 and connected to the SF&W at Alma, Florida (Altes et al. 2018:30). Alma, Florida, is located approximately 12.5 km (7.7 mi) northwest of the project area. The Florida SHPO accepted these recommendations; therefore, the railroad that runs through the one-mile buffer is 8JE01992, the ACL Railroad Perry Cutoff, and 8JE01493 is located north of the project area (Altes et al. 2018:37). 8JE01493 has not been evaluated for NRHP listing; however, 8JE01992 has been determined to be ineligible for NRHP listing by the Florida SHPO.

Table 3. Recorded Resource Groups within the One-Mile Buffer

Site No.	Site Name	Type	NRHP Category	Description	SHPO Evaluation	Survey No.	Distance from Project Area
8JE01493	SF&W-CSX Railroad Corridor	Linear Resource	Site	American – 1821-Present; 19 th Century American (1821-1899); 1888-1991	Not Evaluated by SHPO	4022, 20684	0.2 mi SW at the Railroad's Closest Point
8JE01992	ACL Railroad (Perry Cutoff)	Linear Resource	Site	American – 20 th Century	Ineligible for NRHP	25609	0.2 mi SW at the Railroad's Closest Point

Cemeteries/Burial Sites

No cemeteries or burial sites have been previously recorded within the project area; however, one (1) cemetery has been recorded within the one-mile buffer (ESRI 2020; FDHR 2020; USGS 1954; 1955a; 1955b; 1958; 1959; 1963a; 1963b; 1979; 1981; 2012a; 2012b; 2012c; 2012d; 2015a; 2015b; 2015c; 2015d; 2016; 2018a; 2018b; 2018c; 2018d; **Figure 3**). The Macedonia Free Will Baptist Church Cemetery is located approximately 0.2 km (0.1 mi) northwest of the project area (FDHR 2020). It dates from 1949 to the present and is clearly visible from current aerial imagery. The cemetery boundary provided by FDHR (2020), however, appears to be slightly northeast of where the cemetery appears on aerial imagery (ESRI 2020). The Florida SHPO has not evaluated this cemetery for its inclusion in the NRHP.

Above-Ground Resources (Architectural/Historical)

No historic bridges have been previously recorded within the project area; however, two (2) historic bridges have been recorded within the one-mile buffer (FDHR 2020; **Figure 3; Table 4**). These resources (8JE01989 and 8JE01990) are both FDOT stringer – multi beam bridges that are in good condition and still in use. 8JE01900 was built in 1951 and is constructed of steel and concrete, while 8JE01989 was built of concrete in 1962 as a complement to 8JE01990, which parallels 8JE01989 to the east. Both of these bridges were determined to be ineligible for NRHP listing by the Florida SHPO.

Table 4. Recorded Historic Bridges within the One-Mile Buffer

Site No.	Site Name	Year Built	Description	SHPO Evaluation	Survey No.	Distance from Project Area
8JE01989	FDOT Bridge #540008	1962	In Use; Good Condition; Stringer – Multi Beam; Concrete; Built to Complement Earlier Parallel Bridge to the East (8JE01990)	Ineligible for NRHP	25371	0.4 mi SW
8JE01990	FDOT Bridge #540048	1951	In Use; Good Condition; Stringer – Multi Beam; Steel; Concrete	Ineligible for NRHP	25371	0.3 mi SW

No historic structures have been recorded within the project area; however, five (5) historic structures have been recorded within the one-mile buffer (FDHR 2020; **Figure 3; Table 5**). These resources include three (3) private residences, one (1) church, and one (1) office/terminal. They date to ca. 1880 and 1890, and they are all neo-classical revival in style. All five (5) of these resources are approximately 0.2 km (0.1 mi) from the project area, and they have not been evaluated for NRHP listing by the Florida SHPO.

Table 5. Recorded Historic Structures within the One-Mile Buffer

Site No.	Site Name	Style	Build Date	Structure Use	SHPO Evaluation	Distance from Project Area
8JE00190	Friendship Church	Neo-Classical Revival ca. 1880-1940	ca. 1880	House of Worship; Abandoned or Vacant	Not Evaluated by SHPO	0.1 mi S
8JE00415	Drifton Depot	Neo-Classical Revival ca. 1880-1940	ca. 1890	Office; Terminal, Air/Bus/Rail	Not Evaluated by SHPO	0.1 mi SW
8JE00419	Morris House 1	Neo-Classical Revival ca. 1880-1940	ca. 1880	Private Residence	Not Evaluated by SHPO	0.1 mi W

Site No.	Site Name	Style	Build Date	Structure Use	SHPO Evaluation	Distance from Project Area
8JE00433	J B Smith House	Neo-Classical Revival ca. 1880-1940	ca. 1880	Private Residence	Not Evaluated by SHPO	0.1 mi SW
8JE00441	Stokely House	Neo-Classical Revival ca. 1880-1940	1880	Private Residence	Not Evaluated by SHPO	0.1 mi SW

Based on ECT's review of modern and historic maps and aerial imagery (ESRI 2020; GLO 1825; Nationwide Environmental Title Research, LLC 2020; University of South Florida 2007; USGS 1954; 1955a; 1955b; 1958; 1959; 1963a; 1963b; 1979; 1981; 2012a; 2012b; 2012c; 2012d; 2015a; 2015b; 2015c; 2015d; 2018a; 2018b; 2018c; 2018d), there are currently no buildings standing within the project area. Historic maps also do not indicate the presence of buildings within the project area in the past.

Land use within the project area is dominated by pine plantations, hardwood coniferous mixed forests, forest regenerations areas, wetland forested mixed areas, and shrub and brushland (SRWMD 2019). There are also freshwater marshes, mixed wetland hardwoods, electrical transmission lines, hydric pine flatwoods, cypress, and a jeep trail within the project area. Land use within the project area has been similar to this since at least the early 1950s (ESRI 2020; Nationwide Environmental Title Research, LLC 2020; USGS 1954). An existing 69 kV above-ground power line owned by Duke Energy Florida, Inc. (Duke Energy) runs north-to-south as well as east-to-west along Aucilla Road through the eastern portion of the project area (DHS 2019; ESRI 2020; USGS 1955a; 1963b; 1979). An existing 115 kV above-ground power line owned by Duke Energy also runs north-to-south then east-to-west through the eastern portion of the project area, turns northwest through the central portion of the project area, and then turns back west leaving the western portion of the project area (DHS 2019; ESRI 2020; USGS 1955a; 1955b; 1979). While these power lines are still in service, they first appear on topographic maps in 1955 (USGS 1955a; 1955b).

Structures that are currently within the one-mile buffer are associated with Drifton, Casa Blanco, U.S. Route 27, and local roads. These structures include a lookout tower northwest of the project area, Friendship Church just south of the project area,

Thompson Valley Church south of the project area, and Sanctified Church south of the project area. Several standing buildings within the one-mile buffer have the potential to be 50 years or older; however, they are relatively sparse and concentrated in the western and southern portions of the one-mile buffer (ESRI 2020; USGS 1955a; 1955b; 1963b). The two (2) above-ground power lines mentioned above run through the one-mile buffer as well. The first continues its north-to-south trend and the east-to-west portion of it follows the Project boundary just south of the project area before turning southwest to follow 57/19, and the second continues its east-to-west trend (DHS 2019; ESRI 2020; USGS 1955a; 1955b; 1963b; 1979).

In addition to the above-ground structures within the project area and the one-mile buffer that may be 50 years old or older, three (3) railroad lines run through the one-mile buffer. One (1) of these railroads curves from west-to-north in the western portion of the project area. This railroad is labeled the “SAL” on maps dating to 1954, 1958, and 1959 (USGS 1954; 1958; 1959); the “Seaboard Air Line” on the 1963 Monticello 7.5-minute topographic quadrangle (USGS 1963b); and the “Seaboard Coast Line” on the 1981 Valdosta 30 X 60 minute series topographic quadrangle (USGS 1981). Another railroad splits from the rail line described above east of Drifton, just south of the project area, and runs southeast along the Project boundary just south of the project area before turning east in the eastern portion of the one-mile buffer (ESRI 2020). This railroad is labeled the “Seaboard Air Line” on maps dating to 1954, 1955, 1958, and 1959 (USGS 1954; 1955a; 1955b; 1958; 1959) and the “Seaboard Coast Line” on the 1979 Perry 30 X 60 minute series topographic quadrangle (USGS 1979). The railroad that is south of the project area and runs southeast before turning south to Lamont is the ACL Railroad Perry Cutoff (8JE01493/8JE01992; see **Resource Groups** above).

The Seaboard Air Line (SAL) was operational from 1900 until 1967 when it merged with the ACL to become the Seaboard Coast Line (SCL) Railroad (Turner 2003:11). Many of the tracks associated with the SCL are now part of CSX Transportation, Inc. (CSX)’s operations. It is also possible that some of the tracks within the one-mile buffer were originally laid as early as 1857 (Turner 2003:27).

Additional Historic Information

Ownership of the land within the project area and the one-mile buffer was transferred from the Seminoles to the United States government in the Treaty of Moultrie Creek of 1823 (Fell 2017; The Florida Historical Society 2018; Fox 1920). There are seven (7) federally recognized Native American reservations, two (2) Seminole trust land areas (Coconut Creek Trust Land and Seminole (FL) Trust Land in Broward County), and two (2) off-reservation trust land areas (Poarch Creek and Miccosukee) in Florida (U.S. Census Bureau 2017). The closest federally recognized reservation to the project area is the Tampa Indian Reservation (Seminole) in Hillsborough County, Florida, which is located approximately 309.6 km (192.4 mi) southeast of the project area. The closest trust land to the project area is the Poarch Creek Off-Reservation Trust Land in Alabama, which is located approximately 305.0 km (189.5 mi) northwest of the project area. The closest reservation for a state-recognized tribe is the Tama Reservation, also known as the Tama Tribal Town (The Lower Muskogee Creek Tribe 2020), which is the home of the Georgia state recognized Lower Muskogee Creek Tribe (U.S. Census Bureau 2017). It is located in southern Georgia approximately 56.3 km (35.0 mi) northwest of the project area.

The United States Department of Housing and Urban Development's (U.S. HUD) tribal consultation database provides a list of tribes that may have a specific interest in particular counties in the United States. ECT used the HUD Tribal Directory Assessment Tool (TDAT), and it listed the following tribes with an interest in Jefferson County (U.S. HUD 2020):

- Alabama-Coushatta Tribe of Texas
- Choctaw Nation of Oklahoma
- Coushatta Tribe of Louisiana
- Miccosukee Tribe of Indians
- Mississippi Band of Choctaw Indians
- Muscogee (Creek) Nation

Although no military sites have been recorded within the project area or within the one-mile buffer, activities associated with several wars took place in northern Florida. It is

possible that hostile actions have occurred for thousands of years in the region and that these events were recorded in oral histories; however, the first battles recorded in Western sources took place in the 16th century. In 1539, for example, the Apalachee fought Hernando de Soto's Spaniard army near Monticello, Florida, which is north of the project area (HMDB 2020). The Apalachee people lived in the Florida panhandle, including near the Aucilla River, which is located approximately 10.0 km (6.0 mi) east of the project area.

Revolutionary War battles in northern Florida included the Siege of Pensacola in 1781 (American Battlefield Trust 2020c), which took place approximately 330.0 km (205.0 mi) southwest of the project area, and the Battle of Thomas Creek (HMDB 2019; The Jacksonville Historical Society 2019), which took place north of Jacksonville and approximately 198.0 km (123.0 mi) east of the project area. Pensacola found itself at the center of a battle again in 1814 when the Americans and the British fought over it during the War of 1812 (American Battlefield Trust 2020b). The Seminole Wars took place in Florida during the first half of the 19th century as well, and one (1) major battle during the First Seminole War took place at St. Marks, which is south of Tallahassee and approximately 48.3 km (30.0 mi) southwest of the project area (Mahon 2017; Waldman, Nash, and Smith 2007). The Battle of Natural Bridge during the Civil War also took place in the Tallahassee region, north of St. Marks and approximately 37.0 km (23.0 mi) southwest of the project area (American Battlefield Trust 2020a). Florida's largest Civil War battle, the Battle of Olustee, took place in 1864 in Baker County, which is located approximately 144.8 km (90.0 mi) southeast of the project area (FDEP 2018). There is the potential for military-related sites to be discovered within the project area; however, their presence within the project area is unlikely (see the High Probability Desktop Analysis below).

According to the Florida Department of State's (2020) Florida Historical Marker List, HMDB (2020), and Latitude 34 North (2020), there are no historical markers within the project area or within the one-mile buffer. The closest historical marker is for the Howard Academy Elementary and Junior High School (Later Howard Academy High School) Second Street, and it is located approximately 4.1 km (2.6 mi) north of the

project area in Monticello, Florida. Data on Spanish land grants, federal land patents, and other historical information are available for this area if any historic sites should be found in the future (GLO 2020; State Library and Archives of Florida 2020). No historic trails or roads have been recorded within the project area; however, one (1) historic road runs slightly northeast-to-southwest through the western portion of the one-mile buffer. This is U.S. Route 27, which runs from north of Tallahassee to Miami in Florida (Caceres 2020). U.S. Route 27 is currently known as 57/19 in the vicinity of the Project (ESRI 2020). This route is historically significant because, according to Hawkins (2020), “In the 17th century, the Franciscans administered five missions in [Jefferson] county along an east-west line near what would become U.S. Highway 27.” None of these missions have been recorded within the project area or within the one-mile buffer. U.S. Highway 27 was built in the region in the late 1940s (Florida Department of Transportation 2019). The De Soto Trail ran roughly west-to-east approximately 8.0 km (5.0 mi) south of the project area as well (NPS 1990).

High Probability Desktop Analysis

Identifying probability zones is an important part of the current Florida archaeology standards (FDHR 2003). Factors that go into identifying these probability zones include the locations of previously recorded precontact and historic archaeological sites and historic structures, distance to fresh water, soil type (soil drainage), topography, and vegetation (FDHR 2003:11–12; Janus Research 2006:4–41). The project area is in the Greenville Islands and Swamps physiographic subdivision of the Ocala Uplift District (Brooks 1981; SJRWMD 2020). This region, “[a]lso known as the ‘Lime Sink Region,’...is typified by low, rolling limestone plains, with limestone located at or near the surface. Large solution basins containing lakes, marshes, and swamps are common...” (Dye et al. 2017:4). The elevation within the project area ranges from 90.0 to 190.0 feet (ft.) above mean seal level (amsl) (FDEP 2012). It is approximately 9.5 km (5.9 mi) west of the Aucilla River at its closest point with poorly drained to well drained soils (USDA-NRCS 2020; **Table 6**). Ground disturbance within the project area includes utility construction, road construction, and the creation of pine plantations.

ECT conducted a localized probability zone investigation using previous survey data, modern and historic topographic maps and aerial imagery, data from the National Hydrography Dataset (NHD), and soils data in order to get a better understanding of where additional cultural resources may be present within the project area. ECT used ESRI's ArcMap 10.6.1 Geographic Information Systems (GIS) software to locate high probability zones (HPZs), moderate probability zones (MPZs), and low probability zones (LPZs) for the occurrence of archaeological resources (**Figure 5**).

According to the FDHR (2003:11), "In general, relatively elevated, better-drained lands proximate to (within 100 meters) a freshwater source are considered to have a potential for precontact site location." ECT based the methods and decisions described below on the FDHR's (2003) guidelines and a review of previous surveys in the area (see **Table 1**). In order to identify potential areas for precontact archaeological sites, ECT's first step was to clip the Florida NHD 24k Flowlines shapefile (FDEP 2020) to the one-mile buffer and to remove any obviously human made and altered waterways. ECT did not remove any waterways from the dataset as a result of this analysis. A 100 m buffer was then placed around the waterways, and approximately 88.7 acres of these buffered areas fell within the western and central portions of the project area. ECT then clipped this data to show those areas where the flowline buffers and well drained soils (USDA-NRCS 2020; see **Table 6**) intersect. The 3.9 acres of land with well drained soils and within 100 m of an NHD flowline are HPZs, while the remaining portions of the flowline buffers (84.8 acres) are MPZs (**Figure 5**; **Table 7**).

Table 6. Soil Map Units and Drainage Classifications within the Project Area

Soil Map Unit	Drainage Characteristics	Acreage	Percentage of Project Area
Fuquay fine sand, 0 to 5 percent slopes	Well Drained	34.5	3.9
Dothan loamy fine sand, 2 to 5 percent slopes	Well Drained	0.5	0.1
Dothan loamy fine sand, 5 to 8 percent slopes, eroded	Well Drained	21.8	2.5
Lucy loamy fine sand, 0 to 5 percent slopes	Well Drained	123.6	14.0
Orangeburg sandy loam, 2 to 5 percent slopes	Well Drained	145.1	16.5

Soil Map Unit	Drainage Characteristics	Acreage	Percentage of Project Area
Orangeburg sandy loam, 5 to 8 percent slopes, moderately eroded	Well Drained	8.5	1.0
Blanton fine sand, 0 to 5 percent slopes	Moderately Well Drained	121.7	13.8
Troup fine sand, 0 to 5 percent slopes	Somewhat Excessively Drained	15.0	1.7
Albany sand, 0 to 2 percent slopes	Somewhat Poorly Drained	101.6	11.5
Bonifay fine sand, 0 to 5 percent slopes	Well Drained	2.4	0.3
Plummer fine sand	Poorly Drained	267.0	30.3
Pits	-	4.1	0.5
Sapelo fine sand	Poorly Drained	34.4	3.9
Water	-	1.5	0.2

Similar methods were used to create a 100 m buffer around the Florida NHD Waterbodies 24k shapefile (FDEP 2020b). ECT did not remove any waterbodies from the dataset as a result of this analysis, and approximately 479.4 acres of the buffered waterbodies fell within the project area. ECT then erased the waterbodies to leave only the buffers around them. While precontact sites are more likely to be within 100 m of a water source, they are not likely to found within the water sources themselves. Approximately 307.8 acres of these buffered areas around waterbodies fell within all portions of the project area. ECT then clipped this data to show those areas where the waterbody buffers and well drained soils (USDA-NRCS 2020) intersect. The 91.0 acres of land with well drained soils and within 100 m of an NHD waterbody are HPZs, while the remaining portions of the buffers (216.8 acres) are MPZs (see **Figure 5; Table 7**).

ECT's next step was to define additional MPZs. According to the FDHR (2003:11), "As one moves away from the water source, site expectancy diminishes. Zones of moderate probability are often defined as situated between 100 and 300 meters of potable water." Approximately 316.6 acres within all portions of the project area fell within areas that are within 100 to 300 m of NHD waterbodies, and approximately 173.5 acres within the central and western portions of the project area fell within areas that are within 100 to 300 m of NHD flowlines (see **Figure 5; Table 7**).

While distance to water is a very important factor in predicting the presence of archaeological sites, the best predictor of whether or not archaeological sites will be in an area is if there are previously recorded sites in the vicinity. A 100 m buffer, therefore, was placed around the archaeological sites located within the one-mile buffer. A 12.4-acre buffered area surrounding 8JE02199, the Chamberlain Plantation Site, which is partially within the project area, fell within the western portion of the project area. This buffered area is an HPZ (see **Figure 5; Table 7**).

As noted by the FDHR (Aldridge 2020), “environmental factors are not the best predictors of historic period archaeological sites.” In fact, historic archaeological sites are most likely to be found near standing buildings, where buildings once stood, and along roads. Due to these factors, ECT considered whether there is any evidence of historic activities within the project area in addition to the HPZ placed around 8JE02199. There is no evidence of any structures ever being present within the project area (see **Above-Ground Resources (Architectural/Historical)** above). Historic archaeological sites are, therefore, most likely to be found along the roads within the project area and the railroad that runs parallel to the southern boundary of the project area (see **Figures 3 and 4**). These resources can be discovered through visual inspection and judgmental testing, and, as a result, these areas are not considered MPZs or HPZs for the purposes of this study.

ECT’s high probability analysis shows that more than half (53.4 percent) of the project area has a low probability of containing archaeological resources (**Figure 5; Table 7**). The project area generally has a low probability of containing historic resources, including those associated with military activities and other significant historical events in the region. There is no evidence of historic structures within the project area, and it is at quite a distance to all major known battles in the region (see **Additional Historic Information** above). The remaining portion of the project area consists of 309.9 acres of MPZs (35.1 percent of the project area) and 101.3 acres of HPZs (11.5 percent of the project area). Precontact archaeological sites are most likely to be found in well drained, elevated areas near creeks; however, ECT made decisions about the areas that should be contained within the HPZs and MPZs based on previous survey data as well. Two (2)

precontact sites within the one-mile buffer, for example, are located in somewhat poorly drained, poorly drained, and very poorly drained soils (FDHR 2020). These soils are generally not considered to be likely to contain precontact archaeological sites; which within the project area are typically associated with wetlands; however, Jumpy run (8JE00710) is located on the edge of a wetland and Pine Flat (8JE00222) is near ponds. Based on this information, ECT included areas within 300 m of all waterbodies in the MPZs, even those areas that are not well drained, instead of only considering well drained areas near creeks when determining the MPZs and HPZs.

Table 7. Probability Zones within the Project Area

Probability Zone	Acreage	Percentage of Corridor
High Probability Zone (HPZ)	101.3	11.5
Moderate Probability Zone (MPZ)	309.9	35.1
Low Probability Zone (LPZ)	470.5	53.4

It is important to note that these probability zones are preliminary and may be refined in the future by additional historical research and topographical research. These probability zones could also be refined by the addition of data collected during a reconnaissance field visit.

Summary

Approximately 0.7 percent of the project area has been previously surveyed for cultural resources. One (1) archaeological site has been recorded within the western portion of the project area. This site has not been evaluated for the NRHP, but it has been recommended potentially eligible for NRHP listing. No NRHP listed resources, resource groups, cemeteries, historic above-ground structures, or historical markers have been recorded within the project area. Two (2) archaeological sites, two (2) resource groups, one (1) cemetery, two (2) historic bridges, and five (5) historic structures have been recorded within the one-mile buffer. ECT's high probability analysis shows that the majority of the project area (53.4 percent) has a low probability for containing archaeological resources, while 35.1 percent has a moderate probability for containing archaeological resources and 11.5 percent has a high probability for containing

archaeological resources. The portion of the Chamberlain Plantation Site, 8JEO2199, that is within the western portion of the project area should either be avoided by Project infrastructure or receive archaeological testing to determine whether the portion of the site within the project area could contribute to its potential eligibility for NRHP listing.

Since almost all of the project area has not been surveyed for cultural resources, a Phase I cultural resources assessment survey (CRAS) of the project area, including an architectural history survey of the areas within the one-mile buffer that could be visually impacted by the project, will likely be required. The need for a Phase I CRAS depends on whether there is federal involvement (federal lands, funds, permits, or licenses – including United States Army Corps of Engineers (USACE) Nationwide permits) with the project that would trigger the need to comply with Section 106 of the National Historic Preservation Act (NHPA) or if the project is going to be at least partially built on state lands that would require consultation with the SHPO. In Florida, consultation with the SHPO is also often needed to obtain state permits in accordance with Chapters 267 and 373, *Florida Statutes*. To obtain an individual environmental resource permit (ERP) from the FDEP, for example, the FDHR is given a chance to comment on the project and request additional information, if necessary. If there is a federal, state, or local trigger, whether or not a Phase I CRAS is required is at the discretion of the lead agency and the SHPO. If SHPO involvement is required, a Phase I CRAS would likely be recommended for this project based on the presence of previously recorded cultural resources within the region, and ECT recommends that any agencies involved with the project begin cultural resource consultation as soon as possible.

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Attachments

Figure 1. Project Area and One-Mile Buffer

Figure 2. Previous Surveys

Figure 3. Previously Recorded Cultural Resources

Figure 4. Project Area on Topographic Map

Figure 5. High and Moderate Probability Zones

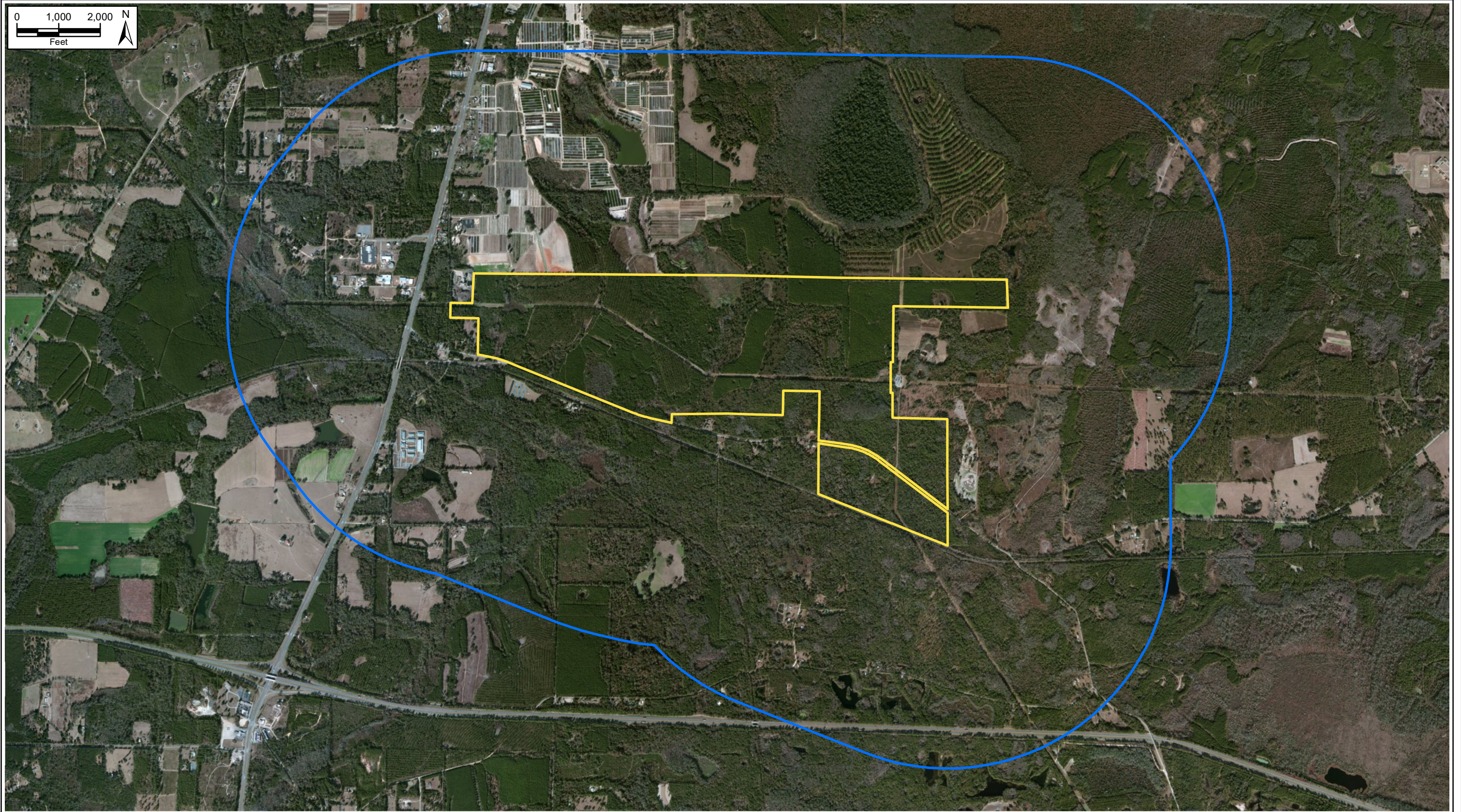


FIGURE 1.

PROJECT AREA AND ONE-MILE BUFFER
 DRIFTON SOLAR
 JEFFERSON COUNTY, FLORIDA

Sources: ECT, 2020; ESRI, 2020.

LEGEND

- Project Area Boundary (\pm 881.8 Ac.)
- 1-Mile Buffer

ECT Environmental
 Consulting &
 Technology, Inc.

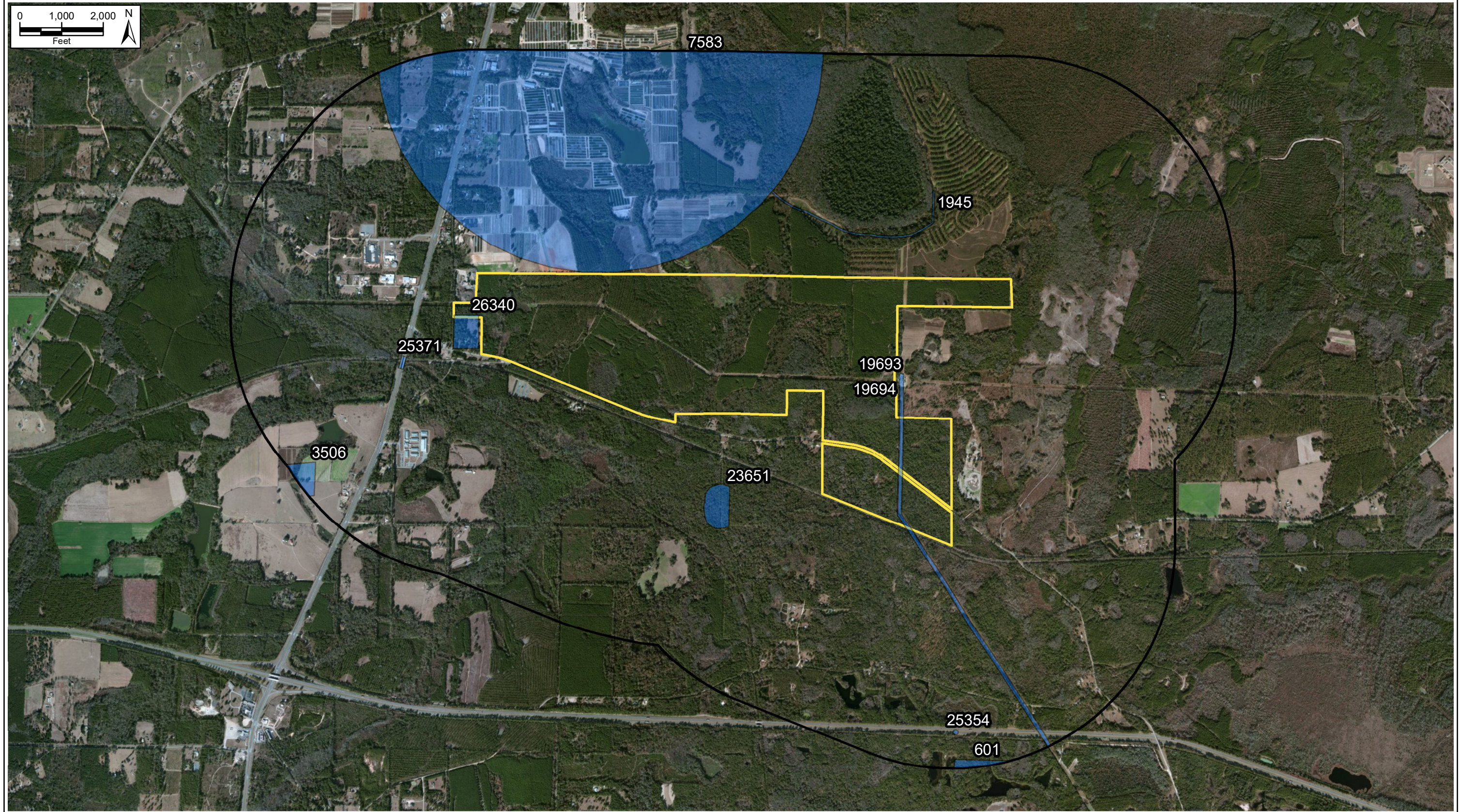


FIGURE 2.

PREVIOUS SURVEYS
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: ECT, 2020; ESRI, 2020; FDHR, 2020.

LEGEND

- Previous Cultural Resources Surveys
- Project Area Boundary (± 881.8 Ac.)
- 1-Mile Buffer

ECT Environmental
Consulting &
Technology, Inc.

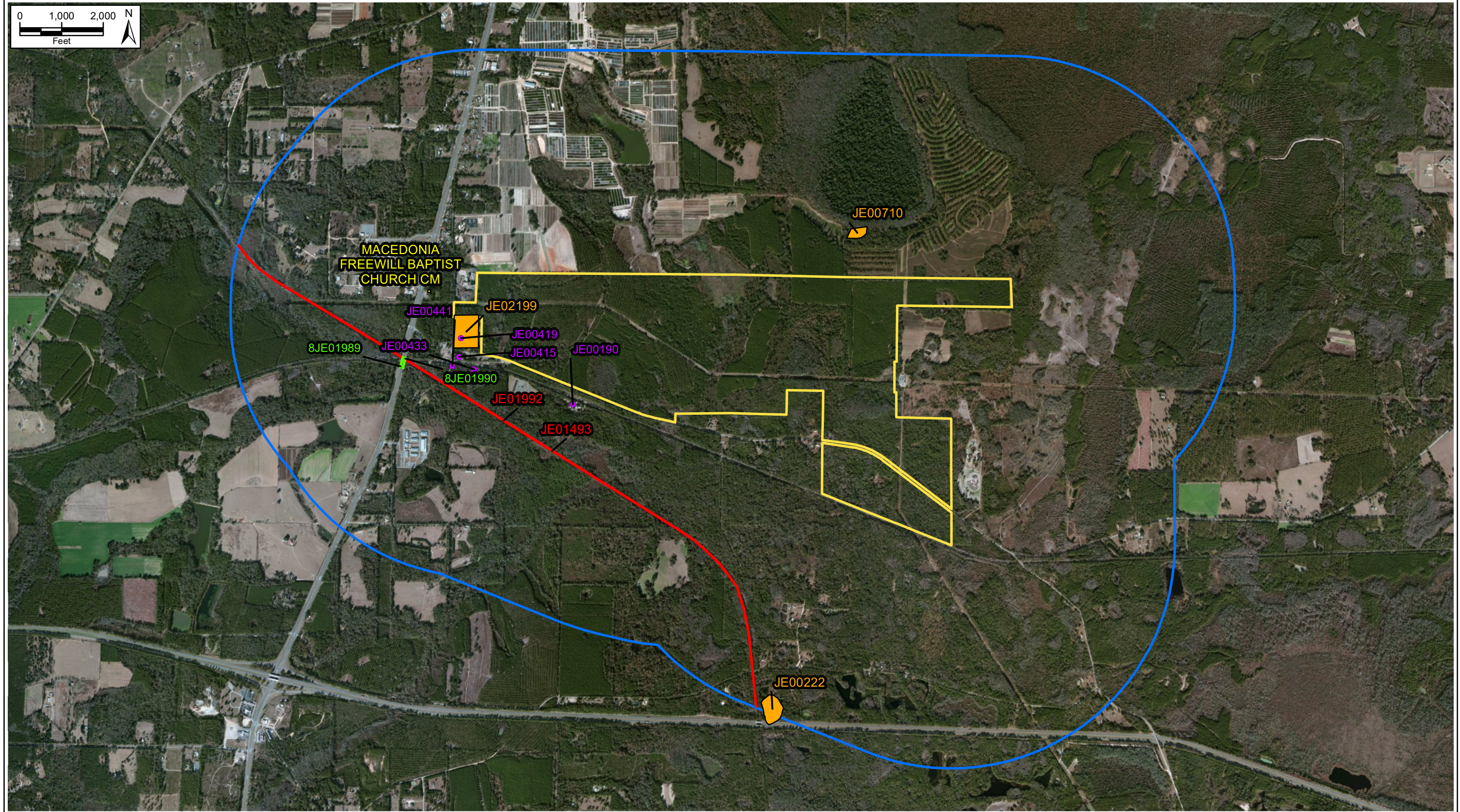


FIGURE 3.
PREVIOUSLY RECORDED CULTURAL RESOURCES
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: ECT, 2020; ESRI, 2020; FDHR, 2020.

LEGEND

- | | | |
|---|---|---|
| Archaeological Sites | Historic Bridges | 1-Mile Buffer |
| Resource Groups | Historic Structures | |
| Cemeteries | Project Area Boundary (± 881.8 Ac.) | |

ECT Environmental
Consulting &
Technology, Inc.

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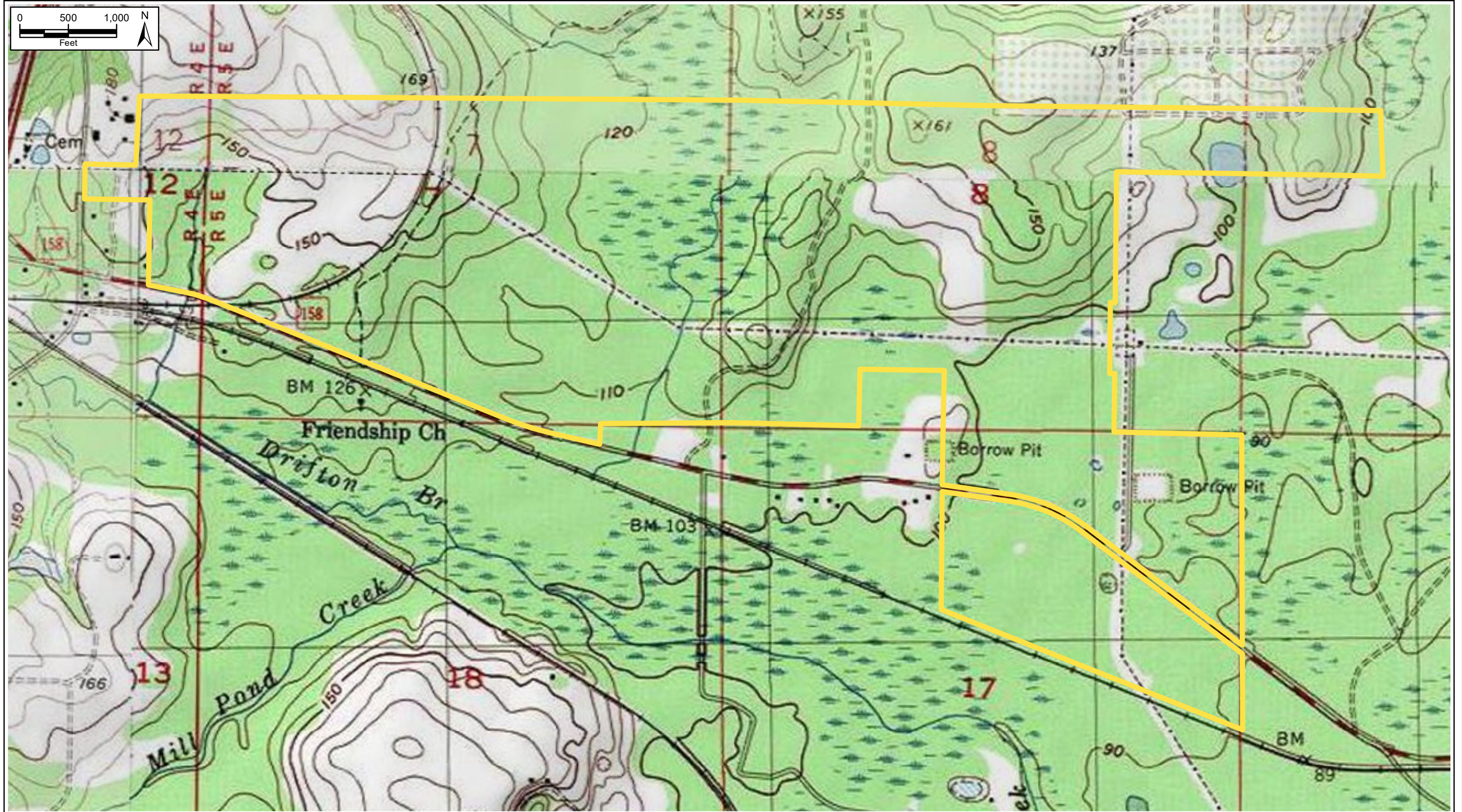



FIGURE 4.

PROJECT AREA ON TOPOGRAPHIC MAP
 DRIFTON SOLAR
 JEFFERSON COUNTY, FLORIDA

Sources: ECT, 2020; ESRI, 2020.

LEGEND

 Project Area Boundary (± 881.8 Ac.)

ECT Environmental
 Consulting &
 Technology, Inc.

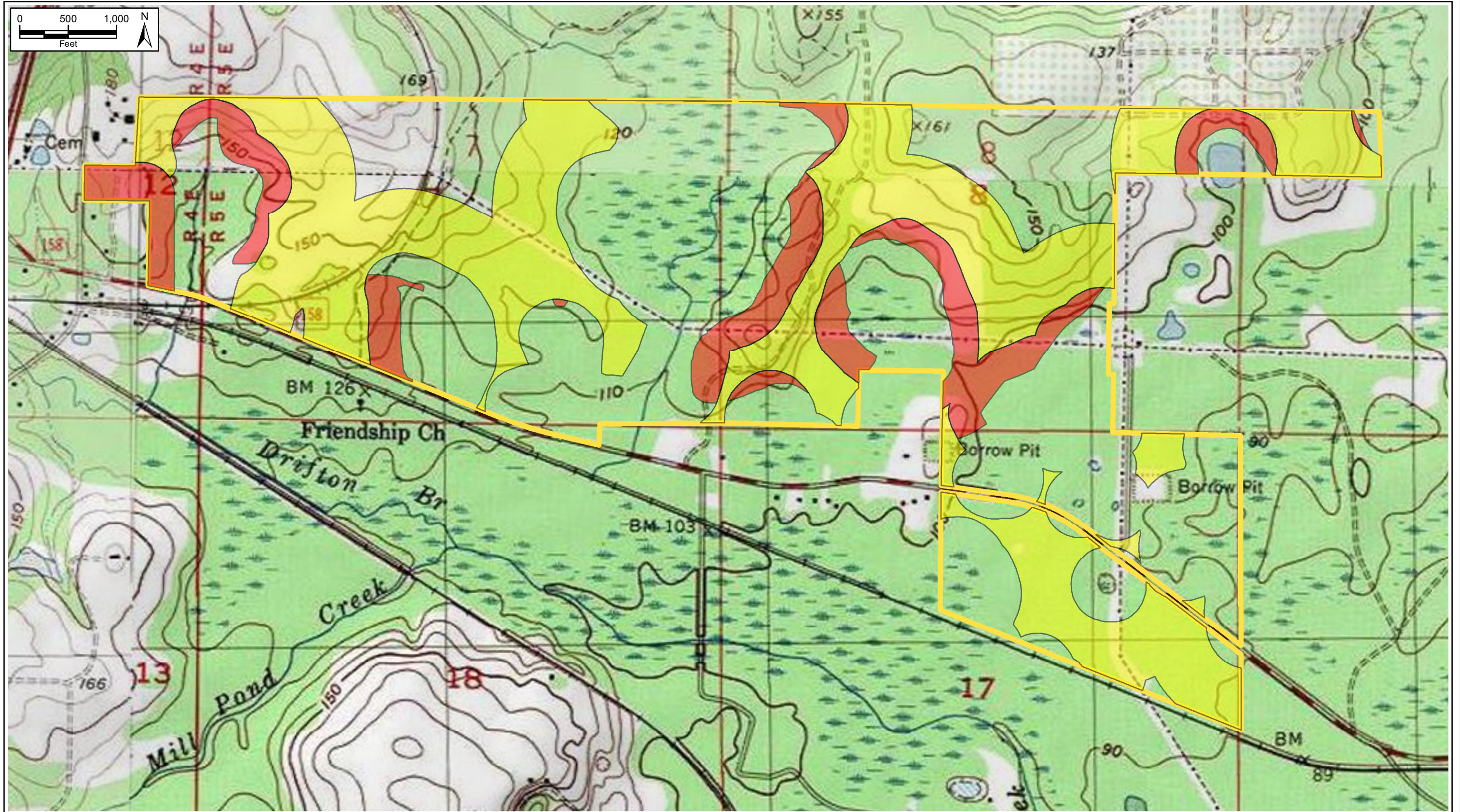


FIGURE 5.
HIGH AND MODERATE PROBABILITY ZONES
DRIFTON SOLAR
JEFFERSON COUNTY, FLORIDA

Sources: ECT, 2020; ESRI, 2020; FDEP, 2012, 2020a, 2020b; FDHR, 2020.

LEGEND

- High Probability Zones (HPZs)
- Moderate Probability Zones (MPZs)
- Project Area Boundary (± 881.8 Ac.)

Jefferson County, Florida
Planning Department
445 W. Palmer Mill Rd
Monticello, FL 32344
Phone (850) 342-0223
Fax: (850) 342-0225



Memorandum

TO: Jefferson County Planning Commissioners
FROM: Shannon Metty, Planning Official
SUBJECT: Special Exception Site Plan and Major Development Application
DATE: November 19, 2020

CC: Parrish Barwick, Scott Shirley

Major Development and Special Exception Site Plan Large Scale Solar Photovoltaic Collector System

Kimley Horn has submitted Special Exception and Major Development applications, on behalf of Ecoplexus and Fresh Air Energy II, LLC. The applications are for a Large Scale Solar Facility. The proposed project is located on the northside of Drifton/Aucilla Hwy, spanning approximately 676 acres. The parcels include 07-1N-5E-0000-0010-0000, 08-1N-5E-0000-0011-0000, and 12-1N-4E-0000-0014-0000.

This facility is proposed to be a 70MW ac project that will interconnect with the nearby Duke Energy Florida Drifton substation and supply power to the 115 kV transmission line currently running through the County. The project spans 676 acres, but of that approximately 272.8 acres will be utilized by the Solar Panels and associated structures. The remaining acres contains wetlands and/or buffers that will stay in its natural state.

Attached you will find the submitted application with site plan. Larger drawings will be available at the meeting for viewing.

Special Exception

A. Traffic

A traffic study was submitted. The study showed that after construction the site will have minimal traffic, an estimated two trip to the site per week.

B. Drainage

The drainage study submitted showed the current flow of water and the flow after construction. Before construction, the County is requesting a copy of any permits issued by FDEP regarding Stormwater Management, any permits from FDOT for drainage connections, and any permits issued by the Water Management Districts.

C. Water Quality

Water Quality has been addressed through grass plantings and other vegetation. The project also has demonstrated plans to control silt with silt fencing during construction.

D. Visual Appearance

All buffers are concurrent with the requirements set forth in the Jefferson County Solar Ordinance. Before a CC is given by the Jefferson County Building Department for this project, an in person inspection of the buffer will be required. At this time, the County will determine if additional planting be required. This can be done before the final inspection, but all planting must be in place before the CC is issued.

E. Mitigation and Avoidance of Environmentally Sensitive Lands

The project has established a minimum 80ft setback from all Jurisdictional Wetlands. Silt fencing will be placed along construction areas to avoid contamination.

F. Noise

Any noise, as stated by the applicant, will be minimal.

G. Air Quality

This project does not emit pollution; air quality is not a factor.

H. Compatibility

Solar is an allowable use in all Agricultural and Industrial Land Use Districts per the Jefferson County Solar Ordinance and Florida Statue 163.3205(3).

Major Development

All requested information was submitted and reviewed. Additional information requested and attached was a Threatened and Endangered Species Report.

It is also noted that this project is located in both the Northwest Florida Water Management District as well as the Suwannee River Water Management District. Since the Northwest Florida Water Management District has more stringent regulations, the applicant is basing any water management regulations on what is required by Northwest Florida Water Management. The applicant is still, however, working with both Water Management Districts to ensure compliance.

Solar Developments are exempt from tree removal permitting and regulation per the Solar Ordinance, however the applicant has provided a list of trees. These trees are shown in the site drawings and it is noted that not all the trees are to be removed.

A decommissioning plan was also submitted. The plan has been reviewed and found to be in compliance with the decommissioning procedures outlined in the Ordinance.

After a thorough review of all the material submitted by the applicant, Planning Staff recommends approval of the Aucilla/Drifton Hwy PV1 Solar Facility Special Exception and Major Development Applications with the following conditions:

1. Once all permits required by all State and Federal Agencies have been received by the applicant, the Jefferson County Planning Department is to also receive a copy of these permits for the Application Records.
2. A copy of the Power Purchase Agreement and the Approval to Connection to the Transmission Line and/or substation with Duke Energy Company before the issuance of any building permits.
3. Should any Endangered Species Habitats or any Historical or Archaeological artifacts be discovered on these parcels, all construction must stop and the appropriate agencies as well as the

Jefferson County Planning Department are to be notified and mitigation solutions be established, before construction could potentially continue.

4. A driveway permit needs to be pulled for any new or existing driveways into or out of the property.

Jefferson County understands all submitted materials may be more of Conceptual Plan than Final Plan. Any and all modifications to this plan must be submitted to the Planning Department and will be handled as described in Section 9.8.0 Modifications to a Final Development Order.

Sincerely,

A handwritten signature in blue ink, appearing to read "Shannon Metty". The signature is fluid and cursive, with the first name "Shannon" being larger and more prominent than the last name "Metty".

Shannon Metty, Planning Official

RESOLUTION NO. _____

A RESOLUTION OF JEFFERSON COUNTY, FLORIDA ELECTING TO USE THE UNIFORM METHOD OF COLLECTING NON-AD VALOREM SPECIAL ASSESSMENTS LEVIED WITHIN THE COUNTY; STATING A NEED FOR SUCH LEVY; PROVIDING FOR THE MAILING OF THIS RESOLUTION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Jefferson County, Florida (the "County") is contemplating the imposition of special assessments for the provision of roadway improvements and maintenance, capital infrastructure, broadband infrastructure, stormwater services, water and wastewater facilities and neighborhood improvements; and

WHEREAS, the County intends to use the uniform method for collecting non-ad valorem special assessments for the cost of providing roadway improvements and maintenance, capital infrastructure, broadband infrastructure, stormwater services, water and wastewater facilities and neighborhood improvements to property within the County as authorized by section 197.3632, Florida Statutes, as amended, because this method will allow such special assessments to be collected annually commencing in November 2022, in the same manner as provided for ad valorem taxes; and

WHEREAS, the County held a duly advertised public hearing prior to the adoption of this Resolution, proof of publication of such hearing being attached hereto as Exhibit A.

NOW, THEREFORE BE IT RESOLVED:

1. Commencing with the Fiscal Year beginning on October 1, 2022, and with the tax statement mailed for such Fiscal Year and continuing thereafter until discontinued by the County, the County intends to use the uniform method of collecting non-ad valorem assessments authorized in section 197.3632, Florida Statutes, as amended, for collecting non-ad valorem assessments for the cost of providing roadway improvements and maintenance, capital infrastructure, broadband infrastructure, stormwater services, water and wastewater facilities and neighborhood improvements. Such non-ad valorem assessments shall be levied within the County. A legal description of such area subject to the assessment is attached hereto as Exhibit B and incorporated by reference.

2. The County hereby determines that the levy of the assessments is needed to fund the cost of roadway improvements and maintenance, capital infrastructure, stormwater services, water and wastewater facilities and neighborhood improvements within the County.

3. Upon adoption, the County Clerk is hereby directed to send a copy of this Resolution by United States mail to the Florida Department of Revenue, the Jefferson County Tax Collector, and the Jefferson County Property Appraiser by January 10, 2022.

4. This Resolution shall be effective upon adoption.

DULY ADOPTED this ____ day of _____, 2021.

JEFFERSON COUNTY, FLORIDA

COMMISSION CHAIR

Attest:

Clerk

Exhibit "A"

Proof of Publication

Exhibit "B"

Legal Description

All of that land, lots, and parcels situated within the geographic boundaries of unincorporated Jefferson County, Florida, including, without limitation, the following specifically described land, lots, and parcels:

Casa Bianca Ridge:

All lots and parcels included in the Casa Bianca Ridge Phase 1 Subdivision as recorded in Plat Book B, Page 66, of the Public Records of Jefferson County, Florida, also sometimes referred to as the Casa Bianca Subdivision as recorded in Plat Book B, Page 66.

Aucilla Shores:

All lots and parcels in all subdivisions of land situated in that area of unincorporated Jefferson County Florida, located generally south of the Asheville Highway and west of the Aucilla River, and commonly generally referred to as Aucilla Shores, including, but not limited to, all lots and parcels included in the following subdivisions recorded in the Public Records of Jefferson County Florida:

Aucilla Shores Subdivision, recorded in Plat Book B, Page 38.

Jefferson Landing Subdivision, recorded in Plat Book B, Page 39, including, without limitation, all Hanger Lots;

Smokehouse Farms Subdivision Unit 1, recorded in Plat Book B, Page 40;

Smokehouse Farms Subdivision Unit 2, recorded in Plat Book B, Page 41;

Asheville Highlands Subdivision Phase 1, recorded in Plat Book B, Page 42;

Asheville Highlands Subdivision Phase 2, recorded in Plat Book B, Page 43;

Sneeds Hidaway Subdivision, recorded in Plat Book B, Page 44;

Aucilla Plantation Subdivision Unit I, recorded in Plat Book B, Page 63;

Aucilla Plantation Subdivision Unit II, recorded in Plat Book B, Page 64;

Aucilla Plantation Subdivision Unit III, recorded in Plat Book B, Page 65;

Oaklands Plantation:

All lots and parcels included in the Oaklands Plantation Subdivision, as recorded in Plat Book B, Page 49 of the Public Records of Jefferson County, Florida, and all lots and parcels included in Replat No. 1, Oaklands Plantation Subdivision, as recorded in Plat Book B, Page 52.

Properties Deeded to Jefferson County via Escheatment Tax Deed

File #	Previous Owner	Parcel ID	Site Address	Date Escheated	Estimated Taxable Value	Estimated Tax Revenue
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21-01	Jimmy Kinsey	28-2N-6E-0600-000B-0270	282 N. Forest Court	10/24/2017	\$ 18,106.00	\$ 602.64
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21-02	Mills Estate, et al	09-1N-3E-0000-0070-0000	13 Moody Road	5/17/2017	\$ 53,545.00	\$ 1,205.43
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Statement of Issue:

This agenda item is presented to the Board to request declaration of Property #1: 3.00 +/- acres of County owned land described as parcel id 28-2N-6E-0600-000B-0270 (13744), as surplus lands and disposition via the private sale method, authorizing the bid sale to proceed with contingencies for successful buyer to cover costs of survey; title insurance; appraisal; if so desired.

Background:

The BOCC adopted a resolution relating to the disposition of surplus lands and adopted a surplus lands policy on October 17, 2019. Per this policy, the County Coordinator, or designee may make a determination of whether or not the land has any potential for future County use. If no such use is identified, it is at the sole discretion of the BOCC to surplus said lands; determine the method of disposition; and publicly notice this fact.

Analysis:

The parcel was not identified to have future potential use for the County.

When the property was acquired by the County and the cost of the acquisition:

August 15, 2016, at a cost of \$0.00

The original reason for acquisition by the County:

On July 18th, 2013, land was offered for sale as required by law for cash to the highest bidder. There were no bids offered and the property was placed on the List of Lands Available for Taxes pursuant to Section 197.502, Florida Statutes. Three years have passed from the date the subject land was offered for public sale and placed on the List of Lands Available for Taxes in accordance with Section 197.502(7), Florida Statutes, without having been purchased.

The site location and description including any improvements and zoning classification:

3.00 Acres Lot 27 Blk B Aucilla Forest & Meadows Subdv-ORB 230/245 & 406/143 & 731/100
Sec. 28, Township 2 North, Range 6 East.

No visible improvements

Future Land Use is AGRI 5

The size of the property: 3.00 acres

The current estimate of market value:

\$17,304.00 per County Appraiser 2021 Tax Roll.

Fiscal Impact:

Expense of \$300.00 or less to cover certified mailing; advertising; and preparation of legal documents.
Future tax revenues will be collected for the property based on its use by the buyer.

Options

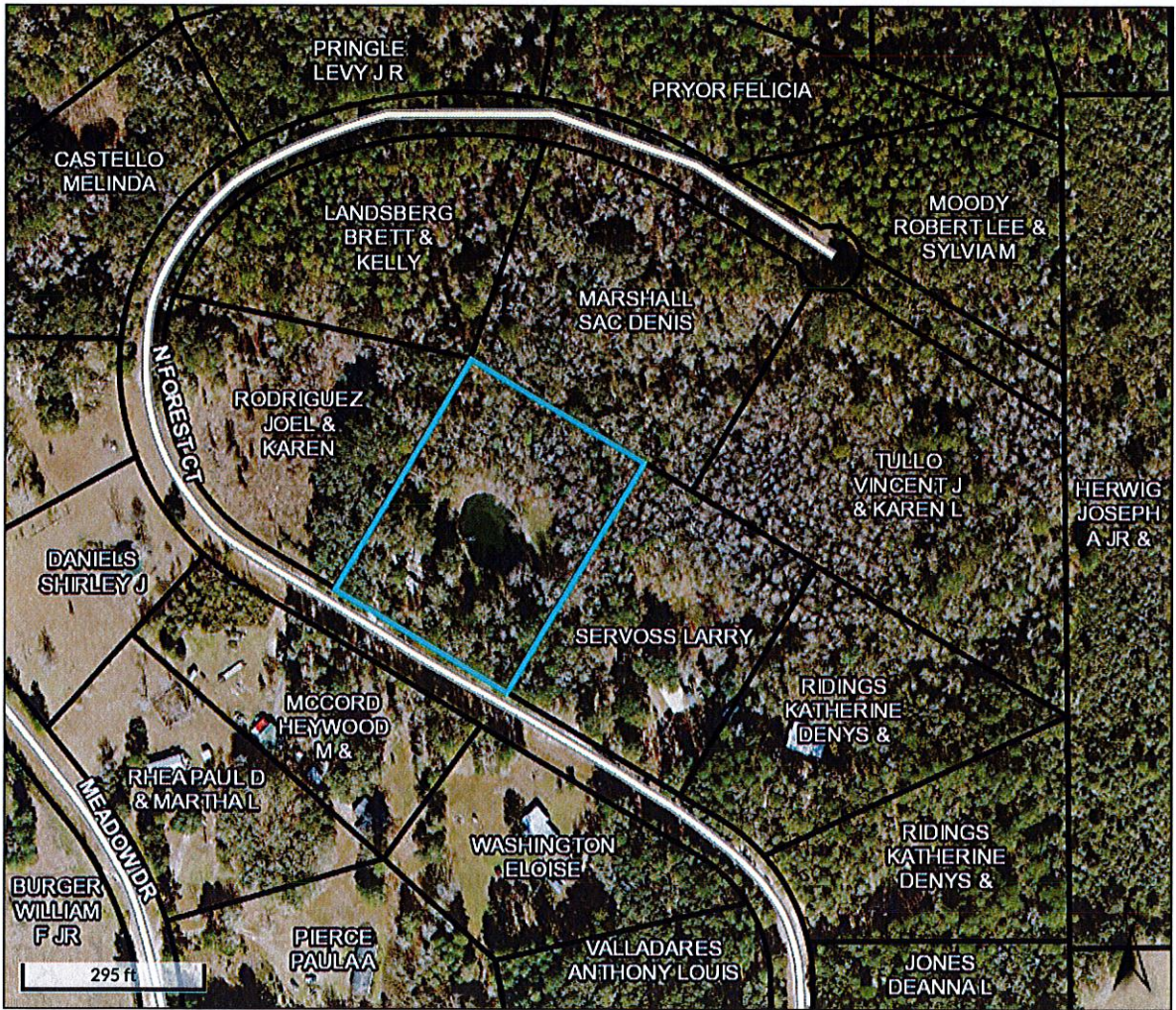
1. Approve declaration of surplus property and disposition method.
2. Do not approve declaration of surplus property and disposition method.
3. Board direction.

County Coordinator's Recommendation:

Option 1. Approve declaration of surplus property and disposition method.

Attachments:

Property - Location Map; Surrounding property owner map; land use designation; and deed Resolution & Section 2 Privates Sale



Overview

Legend

- County Outlines
 - <all other values>
 - Jefferson
- State Outlines
 - <all other values>
 - Florida
- Names
- Parcels
- Street Centerlines

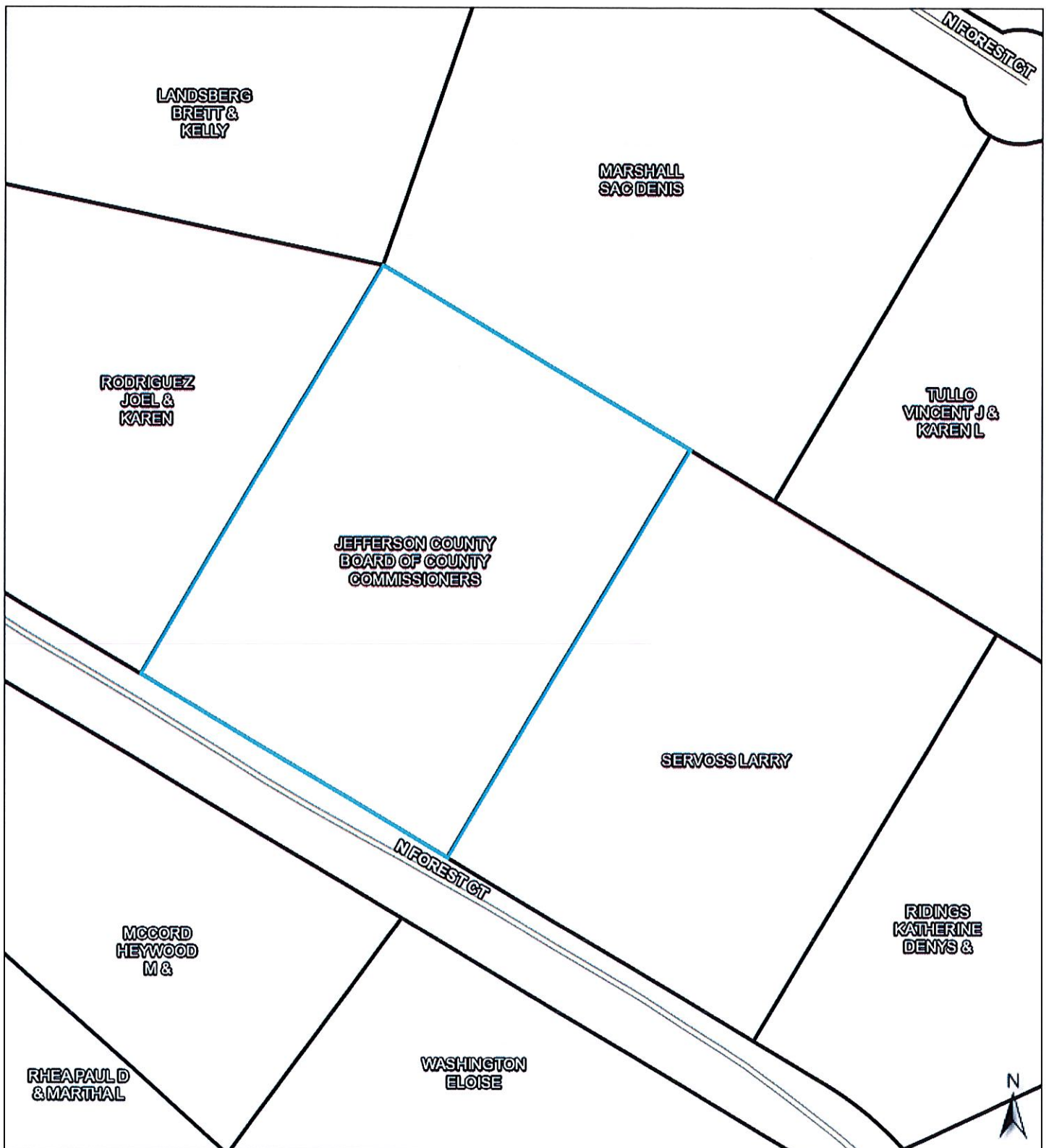
Parcel ID	28-2N-6E-0600-000B-0270	Mailing Address	JEFFERSON COUNTY BOARD OF COUNTY COMMISSIONERS COURTHOUSE ROOM 10 MONTICELLO, FL 32344	Improvement Value	\$11,304	Just Value	\$17,304	Last 2 Sales		
Prop ID	13744	Physical Address	282 N FOREST CT	Land Value	\$6,000	Assessed Value	\$17,304	Date	8/15/2016	Price
Property Usage	COUNTY			Ag Land Value	\$0	Value			12/12/1997	\$100
Acreage	3			Ag Market Value	\$0	Exempt Value	\$17,304			
						Taxable Value	\$0			

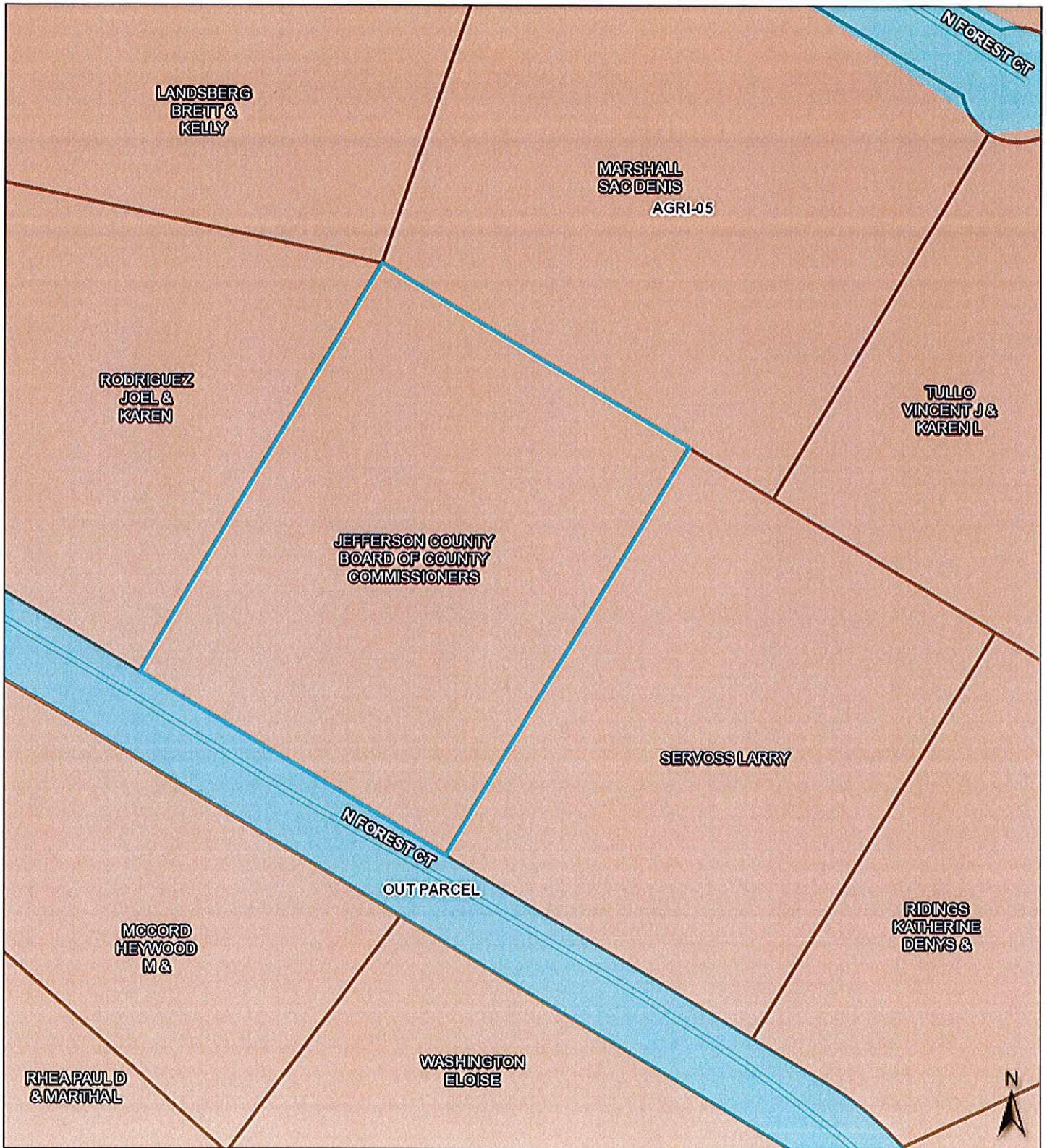
Desc 3.00 ACRES LOT 27 BLK B AUCILLA FOREST & MEADOWS SUBDV--ORB 230/245 & 406/143 & 731/100

(Note: Not to be used on legal documents)

Date created: 12/7/2021
Last Data Uploaded: 12/7/2021 4:24:19 AM

Developed by Schneider GEOSPATIAL





Tax Deed File No: 953

Inst: 201633002095 Date: 8/15/2016 Time: 12:10 PM

Doc Deed: 0.00

DC, Kirk Reams, Jefferson County Page 1 of 3 B: 731 P: 100

Identification No: 28-2N-6E-0000-000B-0270

Escheatment Tax Deed

State of Florida
County of Jefferson

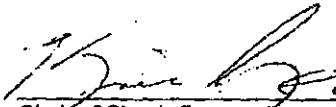
The following Tax Sale Certificate Numbered 953 issued on May 20 2010 was filed in the office of the Tax Collector of this County and application made for the issuance of a Tax Deed, the applicant having paid or redeemed all other taxes or tax sale certificates on the land described as required by law to be paid or redeemed, and the costs and expenses of this sale, and due notice of sale having been published as required by law, and no person entitled to do so having appeared to redeem said land; such land was on the 18th day of July, 2013 offered for sale as required by law for cash to the highest bidder. There were no bids offered and the property was therefore placed on the List of Lands Available for Taxes pursuant to Section 197.502, Florida Statutes.

This tax deed is issued pursuant to Section 197.502(8), Florida Statutes, wherein three years have passed (or seven years if certificates were issued prior to July 1, 1999) from the date the subject land was offered for public sale and placed on the "List of Lands Available for Taxes" in accordance with Section 197.502(7), Florida Statutes, without having been purchased. As provided in Section 197.502(8), Florida Statutes, the property has escheated to the County free and clear of any and all tax certificates, tax liens or any other liens of record, including government liens, which liens are deemed cancelled pursuant to said statute.

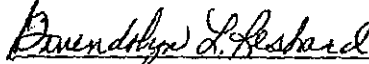
Now, on this 11th day of August, 2016, the undersigned Clerk conveys to Jefferson County through its Board of County Commissioners, whose address is 1 Courthouse Circle, Monticello, Florida 32344. Together with all hereditaments, buildings, fixtures and improvements of any kind and description, the following legally described land situated in Jefferson County, Florida:

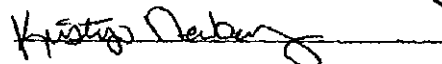
28-2N-6E-0000-000B-0270 3 ACRES
Lot 27, Block B of Aucilla Forest & Meadows Subdivision
ORB 230, PG 245 & ORB 406, PG 143

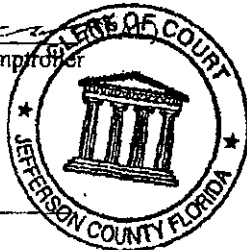
Site Address: 282 N. Forest Court
Monticello, Florida 32344


Clerk of Circuit Court or County Comptroller
Jefferson County, Florida

Witnesses:



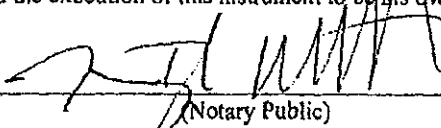




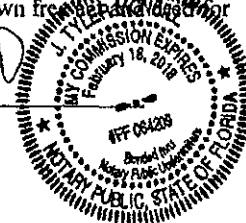
State of Florida
County of Jefferson

On this 15th day of August, 2016, before me Kirk B. Reams, Clerk of the Circuit Court or County Comptroller in and for the State and this County known to me to be the person described in, and who executed the foregoing instrument, and acknowledged the execution of this instrument to be his own free and voluntary act for the use and purposes therein mentioned.

Witness my hand and office seal date aforesaid


(Notary Public)

My Commission Expires: _____



CERTIFICATE OF NOTIFICATION

The following party was notified by certified mail return receipt, regular mail and service by Jefferson County Sheriff's Department:

JIMMY KINSEY

282 North Forest

Monticello, Florida 32344

Mailed 3/21/2013

Certified mail card returned signed for

by F.R. Kinsey

Sheriff served Jimmy Kinsey on April 2, 2013

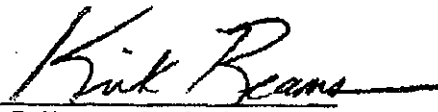
ZAKHEIM & ASSOCIATES, P.A.

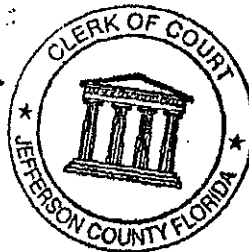
1045 S. University Drive, Suite 202

Plantation, Florida 33324

Mailed 3/21/2013

Certified mail card returned signed 3/25/2013


Kirk B. Reams, Clerk of Court



AFFIDAVIT OF PUBLICATION

The MONTICELLO NEWS & JEFFERSON COUNTY JOURNAL published every Wednesday and Friday in the City of Monticello, County of Jefferson and State of Florida. Before me, the undersigned authority personally appeared, Lois Revels, who on oath says that she is a Bookkeeper for the Monticello News & Jefferson County Journal, both weekly newspapers, published in Monticello, Jefferson County, Florida by ECB Publishing; that the attached copy of the advertisement being a Legal Notice to appear in reference:

Notice of Application for Tax Deed #953

dates of June 12, 2013

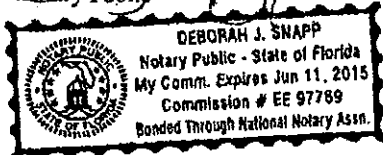
Affiant further says that the said Monticello News, and Jefferson County Journal, a newspaper published at Monticello, in Jefferson County, Florida, and that the said newspaper has heretofore been continuously published in said Jefferson County, Florida, each week and has been entered as second class mail matter at the post office in Monticello, in said Jefferson County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Signed by: Lois Revels

Sworn to and subscribed before me this day of

June 14 A.D. 2013

Notary Public



NOTICE IS HEREBY GIVEN, that TCDL REC has notice of the following certificate has filed said certificate for a tax deed.

The certificate number, year of issuance, description of the property and the names in which it was assessed are as follows:

Certificate Number: 953

Year of Issuance: 2010

Description of Property: 28-2N-0E-0600-000R-0270: 1 ACRES

Lot 27 Blk B Ancilla Forest & Meadows Subdivision

ORB 230 PG 245 & ORB 406 PG 143

Site Address: 282 N Forest Court Monticello

Name in which assessed: JIMMY KINSEY

All of said property being in the County of Jefferson, State of Florida. This property when sold may be subject to the current year taxes.

Unless such certificate shall be redeemed according to law, the property described in each certificate will be sold to the highest bidder at the Jefferson County Courthouse, north door on the 18TH DAY OF JULY, 2013 at 11:00 A.M.

Dated this 6TH DAY OF JUNE, 2013

Kirk B. Reams

Clerk of the Court

6/12/13

RESOLUTION NO. _____

**A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS
OF JEFFERSON COUNTY, FLORIDA, RELATING TO THE
DISPOSITION OF SURPLUS LANDS; PROVIDING FINDINGS;
ADOPTING A SURPLUS LANDS POLICY; AND PROVIDING AN
EFFECTIVE DATE.**

WHEREAS, the Jefferson County Board of County Commissioners is the fee title holder to certain parcels of real property located in Jefferson County, Florida; and

WHEREAS, the Board of County Commissioners is in need of a process to periodically evaluate such real property to determine whether same should be declared as surplus such that real property owned by the County can be sold for a reasonable price, returned to productive private use, and added to the tax rolls; and

WHEREAS, adopting a policy which governs the County's disposition of parcels of real property determined to be surplus is in the best interest of the citizens of the County.

NOW THEREFORE, it is ADOPTED AND RESOLVED by the Board of County Commissioners of Jefferson County, Florida, as follows:

SECTION 1: The Board of County Commissioners hereby adopts the following policy regarding the disposition of surplus lands and real property:

The Board of County Commissioners is the fee title holder to certain parcels of real property located within the County. This policy shall govern the County's disposition of parcels of real property determined to be surplus.

(1) It is the policy of the Board of County Commissioners to sell or lease real property belonging to the County only if the real property has been identified as surplus as provided herein and the Board determines that such sale or conveyance is in the best interest of the County. Any such sale or lease shall be to the highest and best bidder for the particular use the County deems to be the highest and best or as to a lease of real property, for such length of term and upon such conditions as the Board may in its discretion determine to be appropriate.

(2) The County Coordinator, or designee, may periodically review County owned real property that is not currently being used by the County and which may be considered surplus property. A property shall not be considered surplus unless there is no known potential future County use. If such potential surplus property is identified, the following information on the property, to the extent known or readily ascertainable, shall be compiled and distributed to all County departments along with a request for comments.

- a. When the property was acquired by the County and the cost of the acquisition;
- b. The original reason for acquisition by the County;
- c. The site location and description including any improvements and zoning classification;
- d. The size of the property; and

- e. The current estimate of market value.

Based on the above review and comment, a list of parcels that may potentially be considered surplus may be compiled by the Coordinator and provided to the Board. The determination as to whether a particular parcel of real property is surplus shall be at the sole discretion of the Board of County Commissioners.

(3) A sale of real property determined to be surplus shall be made only after notice thereof is published once week for at least 2 consecutive weeks in a newspaper of general circulation in Jefferson County, calling for bids for the purchase of the real property so advertised to be sold. In the case of a sale, the bid of the highest bidder complying with the terms and conditions set forth in such notice shall be accepted, unless the Board rejects all bids because they are too low, or otherwise determines that the real property is not surplus. The Board may require a deposit to be made or a surety bond to be given, in such form or in such amount as the Board determines, with each bid submitted.

(4) Notwithstanding the above, when the Board finds that a parcel of real property is of insufficient size and shape to be issued a building permit for any type of development to be constructed on the property or when the Board finds that the value of a parcel of real property is \$15,000 or less, and when, due to the size, shape, location, and value of the parcel, it is determined by the Board that the parcel is of use only to one or more adjacent property owners, the Board may effect a sale of the parcel to an adjacent owner as provided herein. As to any such parcel the County shall send notice by certified mail of the availability of such parcel to the owners of adjacent property. After waiting at least 10 working days after receipt of the notice, the Board may sell the parcel without receiving bids or publishing notice. However, if, within 10 working days after receiving such mailed notice, two or more owners of adjacent property notify the Board in writing of their desire to purchase the parcel, the County Commission shall solicit and accept sealed bids for the parcel from such property owners and may convey such parcel to the highest bidder or may reject all offers.

(5) In the alternative to subsections (3) and (4) herein above, the Board may at any time (regardless of whether a parcel has been declared surplus) authorize a particular parcel of real property to be listed with a licensed real estate agency or to be posted with a real estate for sale sign in absence of such a listing.

(6) If the Board receives an offer on property not previously evaluated by the County Coordinator under subsection (2) herein above, the Board shall follow the same procedures as outlined herein, as applicable.

(7) Together with other procedures set forth more particular, together with applicable Florida Statutes, in this Policy.

SECTION 2: This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED by the Board of County Commissioners of Jefferson County, Florida, on this _____ day of October, 2019.

BY:

Chairman of the Board of Commissioners
for Jefferson County, Florida

ATTEST:

Clerk of the Board of County Commissioners
for Jefferson County, Florida

**BOARD OF COUNTY COMMISSIONERS
JEFFERSON COUNTY**

**DISPOSITION OF SURPLUS LANDS
(REAL PROPERTY) POLICY**

JEFFERSON COUNTY BOARD OF COUNTY COMMISSIONERS
Disposition of Surplus Real Property

TABLE OF CONTENTS

Section 1	Bid Sale or Lease.....	4
Section 2	Private Sale.....	5
Section 3	Competitive Negotiation.....	5
Section 4	Conveyance to Governmental Entity or Non-profit Organization.....	8
Section 5	Like Kind Exchange.....	9

The disposition of County owned property is governed by Chapter 125, Florida Statutes. The County Clerk of Court will be the custodian of the inventory of County owned properties.

These guidelines are provided to assist management and Board of County Commissioners when making decisions on the disposition of surplus lands.

Florida Statutes provide a number of alternative methods for the disposition of county surplus property. These include:

1. Bid sale or lease (Section 125.35(1), Florida Statutes
2. Private sale (Section 125.35(2), Florida Statutes);
3. Competitive negotiation (Section 125.35(3), Florida Statutes);
4. Conveyance to governmental entity or non-profit organization (Section 125.38, Florida Statutes);
5. Like kind exchange (Section 125.37, Florida Statutes); and

Determining Method of Surplus Lands Disposition

The county coordinator may provide prioritize list of disposition options with a preferred recommendation; however, the board has sole discretion to determine the method to be used in disposing of surplus property. This is considered a discretionary act of the board and is not subject to appeal.

The county may engage the services of a Florida licensed real estate broker or auctioneer to assist in the disposing of surplus property.

Determination as to estimated value of land.

The county coordinator will present to the board the estimated value of all property declared to be surplus pursuant to this article. This determination may be based upon the assessed value as set by the county property appraiser, or an appraisal prepared by an independent state certified real estate appraiser acceptable to the county coordinator. Determinations as to the estimated value of surplus land must consider and evaluate the following:

1. Configuration of the property;
2. Location;
3. Uplands/wetlands;
4. Environmental concerns;
5. Ability to develop the parcel in accordance with applicable regulations;
6. Current zoning on the parcel;
7. Highest and best use of the parcel; and
8. Encumbrances on title.

1) Bid Sale.

- a) Generally. The bid sale or lease process is controlled by the provisions of Section 125.35(1), Florida Statutes.
- b) *Request.* Any person may request a bid sale or lease of property by filing a written request with the county coordinator with board approval. The request must specifically identify the property and include a statement as to a bonafide intention to purchase, or to lease, the property.
- c) *Surplus determination.* If a person seeks to purchase or lease a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase or lease property already declared surplus by the board does not require additional board action until a purchase agreement or lease agreement is executed by the potential buyer and presented for board consideration.
- d) *Minimum bid determination.* The county coordinator will determine the estimated value of the surplus property as outlined in this policy and present this figure to the board for consideration in setting a minimum bid. The establishment of a minimum bid is a discretionary act of the board and is not subject to appeal.
- e) *Notice.* A notice calling for bids must be published in a newspaper of general circulation once a week for at least two weeks prior to board approval of any real estate purchase agreement resulting from the bid sale process. The notice must indicate identification and location of the subject property, where a bid package may be obtained, and the bid submittal deadline.
- f) *Bid acceptance.* All bids must comply with the county-approved bid specifications contained in bid package. Only bids meeting these specifications will be considered. Bids must be accompanied by the requisite deposit in the form of cashier's check, certified funds or a money order. Cash or personal checks will not be accepted.
- g) *Purchase agreement.* The board may enter into a real estate purchase agreement or for the sale or lease of the parcel with the highest acceptable bidder. However, the board has the right to reject any and all bids, at any time in the bid sale process, for any reason. Similarly, the board may cancel the sale.
- h) *Alternative disposition.* If the initial bid sale is not successful, the county coordinator may suggest to the board an alternative disposition method or suggest retaining the property in the surplus property inventory.

2) Private Sale.

- a) *Generally.* The private sale process is controlled by the provisions of Section 125.35(2), Florida Statutes. A private sale is appropriate only after the board determines that:
 - 1. The parcel of real property is of insufficient size and shape to be issued a building permit for any type of development to be constructed on the property; and the parcel is of use only to one or more adjacent property owners due to the size, shape, location and value of the parcel; or
 - 2. The value estimate of the parcel is \$15,000 or less, as determined by a fee appraiser designated by the board or by the county property appraiser, the parcel is of use only to one or more adjacent property owners due to the size, shape, location, and value of the parcel.
- b) *Request.* A person may request a private sale of property by submitting a written request to the county coordinator. The request must specifically identify the property and include a statement as to a bonafide intention to purchase the property. A private sale may also be recommended to the board by the county coordinator based upon the above (a) and, a review of the surplus property inventory.
- c) *Surplus determination.* If a person seeks to purchase a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase property already declared surplus by the board does not require additional board action until a purchase agreement is executed by the potential buyer and presented for board consideration.
- d) *Notice.* A written notice of the intent to sell the property under the private sale alternative must be sent to all adjacent property owners by certified mail. The notice must inform the property owners about the property for sale, how to submit an offer to purchase the parcel, the required time frame for submittal of an offer and what process will result if more than one property owner desires to purchase the parcel.
- e) *Multiple offers to purchase.* If two or more adjacent property owners notify the county of a desire to purchase the surplus parcel, then the county will solicit sealed bids from those property owners.
- f) *Purchase agreement.* The board may enter into a purchase agreement for the sale of the parcel with the highest acceptable bidder. However, the board has the right to reject any and all bids, at any time in the private sale process, for any reason, as well as cancelling the sale outright.

3) Competitive Negotiation.

- a) *Authority and scope.* This section is enacted under the authority of Section 125.35(3), Florida Statutes, to prescribe additional disposition standards and procedures to be used by the county in selling, conveying, or leasing real property owned by the county for a term in excess of one year. Leasing (or otherwise providing for the use of real property) for a term of one year or less is not governed by this section. Regardless of the length of

the term, concession agreements, license agreements, operating agreements, recreational facility use agreements or other agreements requiring the use of real property owned by the county but whose primary purpose is to provide services to the county or to the public are not governed by this article.

- b) *Standards.* The board may negotiate, approve and execute lease, sale, conveyance or other development agreements for real property owned by the county to be used by a private party in a manner directly benefiting the county or otherwise for a governmental or public purpose. In no event shall the uses permitted by any such lease, sale, conveyance or other development agreement violate the county's future land use, development code regulations or comprehensive plan.
- c) *Procedures.*
 - i) The following procedures shall apply to selected transactions relating to negotiated lease, sale, conveyance or other development agreements benefiting the county or otherwise for governmental or public purposes:
 - (1) The selection of private parties for lease, sale, conveyance or other development agreements shall result from an open competitive process. Examples of competitive solicitations that comply with the terms of this section include, but are not limited to, invitations to negotiate, requests for proposals and requests for letters of interest.
 - (2) Notice of each solicitation shall be published in a newspaper of general circulation in the county not less than ten calendar days prior to the date on which responses to the solicitation are due. The notice shall indicate how copies of the solicitation can be obtained or electronically accessed by interested parties and state the date and time responses will be opened.
 - (3) The county will have the right to require additional information and interview any, all or none of the respondents. The interview format and content will be at the county's discretion. The county will have the right to conduct site visits of the respondents' facilities and/or of any current project(s) managed by the respondents.
 - (4) Solicitation submittals will be reviewed and evaluated by the county to determine how the written responses and additional information address the county's needs and requirements, as stated in the solicitation. Evaluation criteria shall include, but not be limited to the following:
 - (a) The proposed use of the property, including such details as are required by the county coordinator and/or board;
 - (b) Respondent's ability to perform its obligations under the proposed lease, sale, conveyance or other development agreement;
 - (c) The financial obligations, if any, to be borne by the county;
 - (d) Respondent's past record of performance;
 - (e) Experience of the respondent and the respondent's team, if applicable; and
 - (f) Recent, current and projected workloads of the respondent and the respondent's team.
 - (g) Additional evaluation criteria may be included in each solicitation.

- (h) The county coordinator will present the proposed lease, sale, conveyance or other development agreement to the board for consideration. The board may approve or reject the proposed lease, sale, conveyance or other development agreement in its sole and absolute discretion.
- ii) Any public-private partnership agreement entered into prior to the effective date of this section, that resulted from a competitive process, may be subsequently amended to include a negotiated lease, sale, conveyance or other development agreement, without further solicitation, if the public purpose underlying such public-private partnership agreement is not affected thereby.
- d) *Request.* A competitive negotiation may also be requested by the county coordinator based upon a review of the declared surplus property inventory. Any person may request a competitive negotiation of property by submitting a written request to the county coordinator.
- e) *Surplus determination.* If a person seeks to purchase or lease a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase or lease property already declared surplus by the board does not require additional board action until a purchase agreement is executed by the potential buyer and presented for board consideration.
- f) *Notice.*
 - i) Types of notice. Once the parcel has been properly designated surplus, notice of the availability and potential sale, conveying or lease of the parcel will be provided through and at least two of the following means:
 - (1) County Website;
 - (2) Sign on the parcel;
 - (3) Posted notice in the Courthouse;
 - (4) Mailed notice to adjacent property owners;
 - (5) Notice to names on the surplus lands mailing list;
 - (6) Newspaper advertisement at least two weeks in advanced.
 - (7) Electronic media notice or advertisement.
 - ii) Notice period/deadline for submittal of responses to a solicitation. The deadline for submittal of responses will be a minimum of 30 days from the date the notice of availability for sale, conveyance or lease is first published. For purposes of calculating the deadline date, the first day of publication will not be counted; a deadline date falling on a weekend or holiday will be moved forward to the next regular business day.
- g) *Negotiation.* The county coordinator will attempt to negotiate a purchase agreement or lease agreement with the selected respondent. All aspects of the real estate negotiation process are open for discussion, including an increase in the bid or sale price, or rent, of the property. The negotiation period will be established in the solicitation documents. If the county is unable to successfully negotiate a purchase agreement or lease agreement with the selected respondent within the negotiation period, then the county may cease

negotiations with the selected respondent and proceed to negotiations with another respondent, if any.

- h) *Purchase agreement or lease agreement.* Once a purchase agreement or lease agreement has been successfully negotiated, the agreement will be sent to the board for consideration and approval. The date the item will appear on the board agenda will be available on the county website. The board has the right to reject any and all purchase agreements or leases, at any time in the competitive negotiation process, for any reason.

4) Conveyance to governmental entity or non-profit organization (Section 125.38, Florida Statutes)

- a) *Generally.* The conveyance to governmental entity or non-profit organization is controlled by the provisions of Section 125.38, Florida Statutes.
- b) *Request.* The United States, or any department or agency thereof, the state or any subdivision or agency thereof, or any municipality of this state, or corporation or other organization not for profit Any person may request conveyance or lease of property by filing a written request with the county coordinator. The request must specifically identify the property and include a statement as to a bonafide intention to purchase, convey or to lease, the property for the purposes of promoting community interest and welfare.
- c) *Surplus determination.* If a person seeks to purchase or lease a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase or lease property already declared surplus by the board does not require additional board action until a purchase agreement or lease agreement is executed by the potential buyer and presented for board consideration.
- d) *Notice.* The fact of such application being made, the purpose for which such property is to be used, and the price or rent therefore shall be set out in a resolution duly adopted by such board. In case of a lease, the term of such lease shall be recited in such resolution. No advertisement shall be required.
- e) *Minimum offer determination.* The county coordinator will determine the estimated value of the surplus property as outlined in this policy and present this figure to the board for consideration in setting a minimum offer. The establishment of a minimum bid is a discretionary act of the board and is not subject to appeal.
- f) *Multiple offers to purchase, convey or lease.* If two or more governmental entity and/or non-profit organizations notify the county of a desire to purchase or lease the surplus parcel, then the county will evaluate each entity's organize purposes of promoting community interest and welfare and choose which will be most beneficial to the citizens. This decision is a discretionary act of the Board. It is not subject to appeal.
- g) *Purchase agreement.* The agreement should include a clause that if the entity fails to utilize the property for the approved purpose of promoting community interest and welfare for more than two consecutive calendar years, it be gifted back to the County.

5) Like kind exchange

- a) *Generally.* Like kind exchange is controlled by the provisions of Section 125.37, Florida Statutes.
- b) *Request.* The County Coordinator or individual board member may ask the board to consider an exchange of property not needed for county purposes be exchanged for other real property, which the county may desire to acquire for county purposes via written notice.
- c) *Surplus determination.* If a person seeks to purchase a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase property already declared surplus by the board does not require additional board action until a purchase agreement is executed by the potential buyer and presented for board consideration.
- d) *Notice.* A written notice setting forth the terms and conditions of any such exchange of property, shall be first published, once a week for at least 2 weeks in a newspaper of general circulation published in the county, before the adoption by the board of a resolution authorizing the exchange or properties.
- e) *Agreement of Exchange.* The board must adopt a resolution authorizing the exchange of properties and complete the exchange in accordance of customary real estate practices.

Note: See Jefferson County Capital Asset Policy when dealing with Tangible Personal Property.

Statement of Issue:

This agenda item is presented to the Board to request declaration of Property #2: 4.90 +/- acres of County owned land described as parcel id 09-1N-3E-0000-0070-0000 (2555), as surplus lands and disposition via the private sale method, authorizing the bid sale to proceed with contingencies for successful buyer to cover costs of survey; title insurance; appraisal; if so desired.

Background:

The BOCC adopted a resolution relating to the disposition of surplus lands and adopted a surplus lands policy on October 17, 2019. Per this policy, the County Coordinator, or designee may make a determination of whether or not the land has any potential for future County use. If no such use is identified, it is at the sole discretion of the BOCC to surplus said lands; determine the method of disposition; and publicly notice this fact.

Analysis:

The parcel was not identified to have future potential use for the County.

When the property was acquired by the County and the cost of the acquisition:

May 17th, 2017, at a cost of \$0.00

The original reason for acquisition by the County:

On May 17th, 2017, a Tax Deed was issued pursuant to Section 197.502(8), Florida Statutes, wherein three years have passed from the day the subject land was offered for public sale and placed on the list of "lands available for taxes" in accordance with Section 197.502(7), Florida Statutes without having been purchased.

The site location and description including any improvements and zoning classification:

4.90 Acres in S. Pt of NE1/4 OF NE 1-4

ORB 472/520 THRU 528 & 492/310 & 644/140-148 & 664/374 & 740/744

Sec. 9, Township 1 North, Range 3 East.

No visible improvements

Future Land Use is AGRI 5

The size of the property: 4.90 acres

The current estimate of market value:

\$88,274.00 per County Appraiser 2021 Tax Roll.

Fiscal Impact:

Expense of \$300.00 or less to cover certified mailing; advertising; and preparation of legal documents. Future tax revenues will be collected for the property based on its use by the buyer.

Options

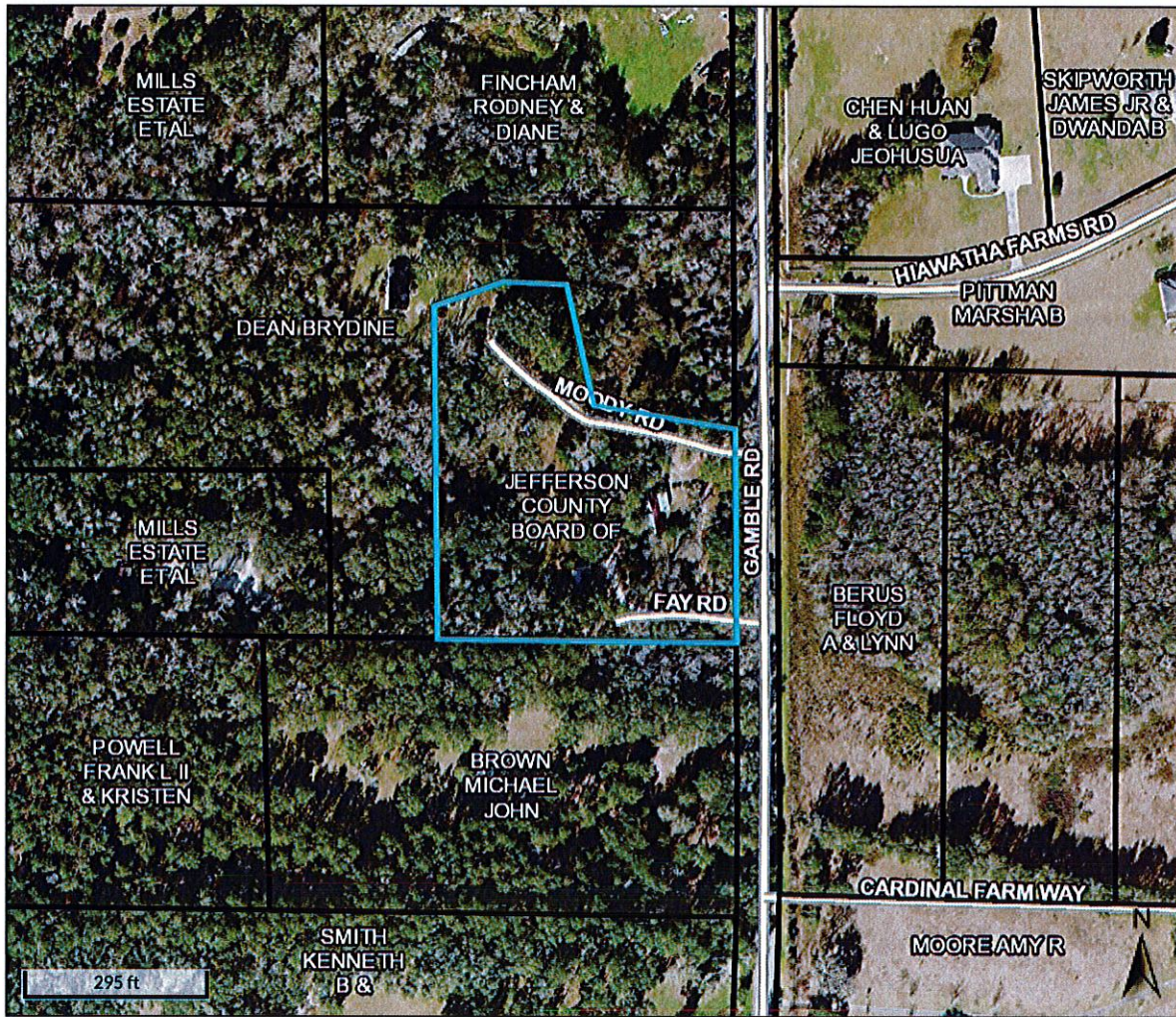
1. Approve declaration of surplus property and disposition method.
2. Do not approve declaration of surplus property and disposition method.
3. Board direction.

County Coordinator's Recommendation:

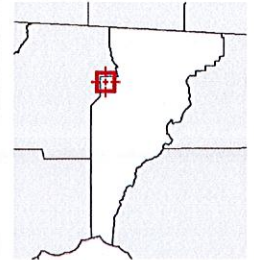
Option 1. Approve declaration of surplus property and disposition method.

Attachments:

Property - Location Map; Surrounding property owner map; land use designation; and deed Resolution & Section 2 Privates Sale



Overview



Legend

County Outlines

- <all other values>
- Jefferson

State Outlines

- <all other values>
- Florida

Names

- Parcels
- Street Centerlines

Parcel ID	09-1N-3E-0000-0070-0000	Mailing Address	JEFFERSON COUNTY BOARD OF COUNTY COMMISSIONERS	Improvement Value	\$29,474	Just Value	\$88,274	Last 2 Sales		
Prop ID	2555		1 COURTHOUSE CIR	Land Value	\$58,800	Assessed Value	\$59,812	Date	5/17/2017	Price
Property Usage	COUNTY		MONTICELLO, FL 32344	Ag Land Value	\$0	Value	\$59,812		3/21/2011	0
Acreage	4.9	Physical Address	13 MOODY RD	Ag Market Value	\$0	Exempt Value	\$59,812			I
						Taxable Value	\$0			U

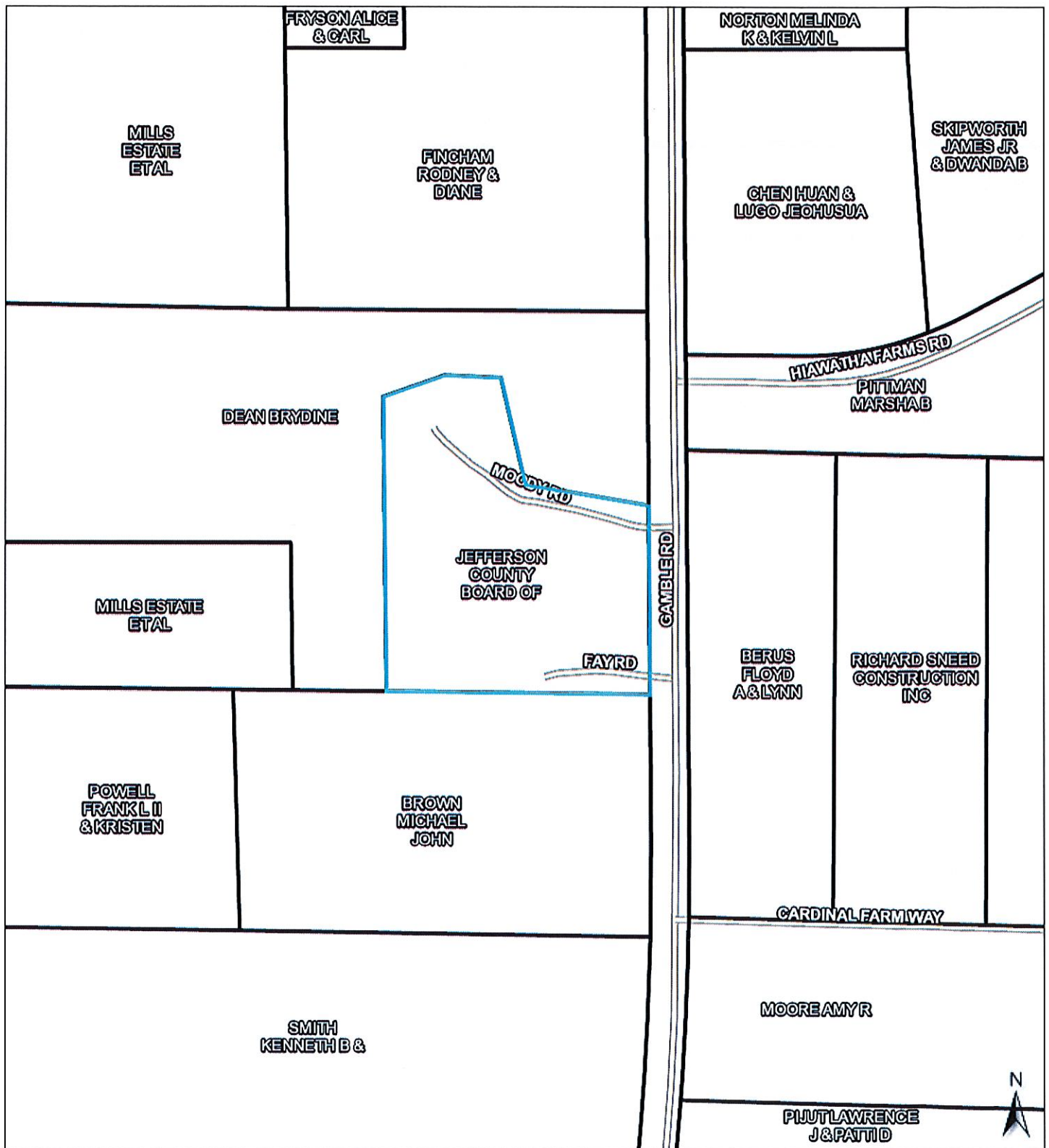
Desc 4.90 ACRES IN S PT OF NE1/4 OF NE 1-4 OR 472/520 THRU 528 & 492/310 & 644/140-148 & 664/374 & 740/744

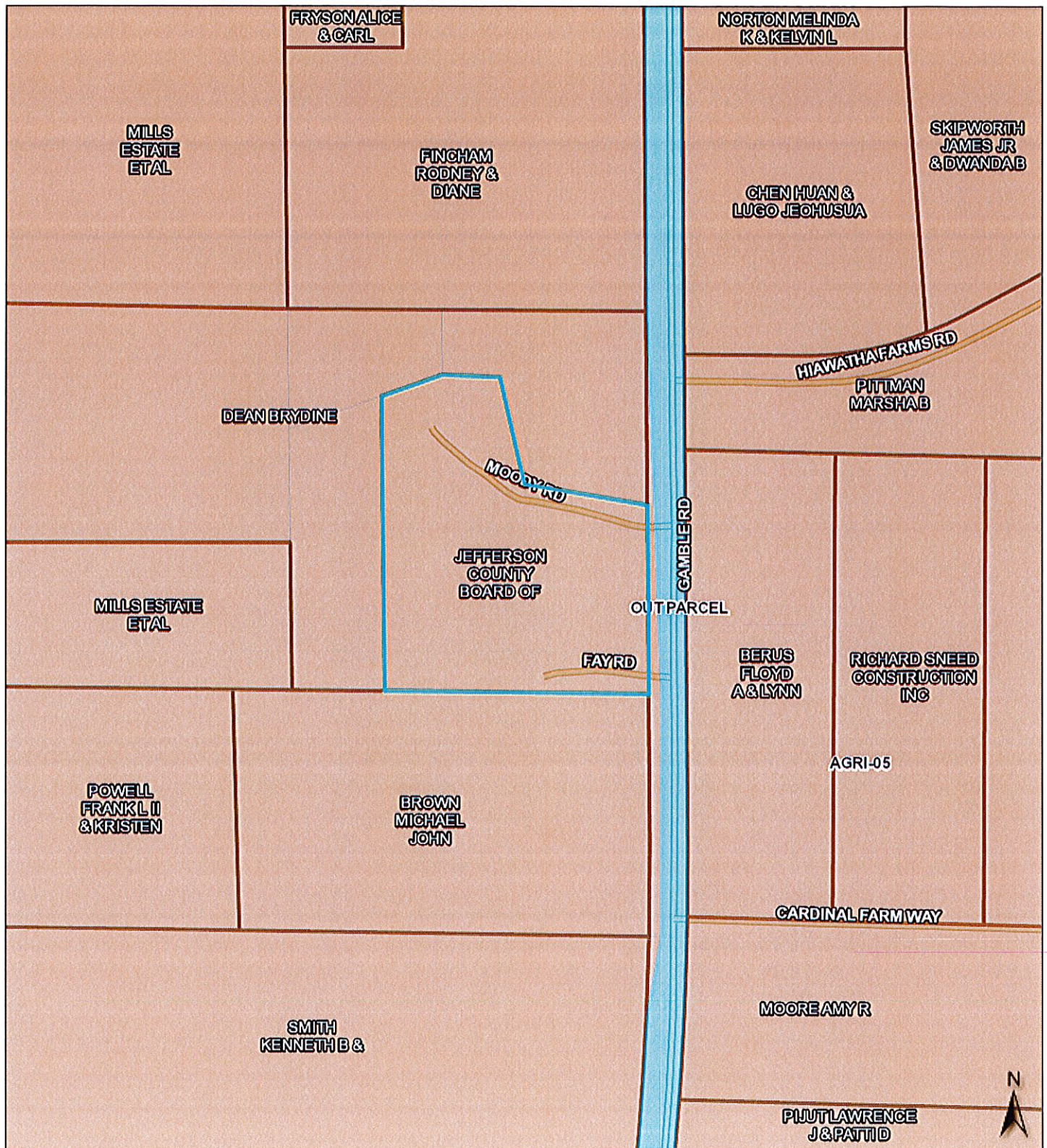
(Note: Not to be used on legal documents)

Date created: 12/7/2021

Last Data Uploaded: 12/7/2021 4:24:19 AM

Developed by  **Schneider**
GEOSPATIAL





Tax Deed File No: 190

Inst: 201733001177 Date: 5/18/2017 Time: 9:31 AM
DC: Kirk Reams, Jefferson County Page 1 of 3 B: 740 P: 744

Identification No: 09-1N-3E-0000-0070-0000

Escheatment Tax Deed

State of Florida
County of Jefferson

This Tax Deed is issued pursuant to Section 197.502(8), Florida statutes, wherein three years have passed from the day the subject land was offered for public sale and placed on the list of "lands available for taxes" in accordance with Section 197.502(7), Florida Statutes without having been purchased. As provided in Section 197.502(8), Florida Statutes, the property has escheated to the County free and clear of any and all tax certificates, tax liens or any other liens of record, including governmental liens, which liens are deemed canceled pursuant to said statute.

Now, on this day, the undersigned Clerk conveys to JEFFERSON COUNTY through its Board of County Commissioners, whose address: 1 Courthouse Circle, Monticello, Florida, 32344, together with all hereditaments, buildings, fixtures, and improvements of any kind and description, the following legally described land situated in Jefferson County, Florida:

In S PT of NE 1/4 of NE 1/4
ORB 472 PG 520 & ORB 492 PG 240
4.90 ACRES

Site Address: 13 Moody Road
Monticello, Florida 32344

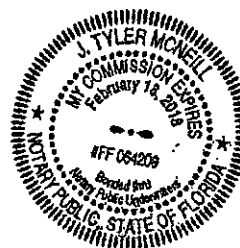
Witnesses:

Brendon L. Lehard

Kirk Reams
Clerk of Circuit Court, Jefferson County, Florida

Kristen Naby

State of Florida
County of Jefferson



On May 17, 2017, before me, a Notary Public, personally appeared KIRK REAMS, Clerk, in and for the State of Florida and this county, known to me to be the person described in, and who executed the foregoing instrument, and acknowledged the execution of this instrument to be his own free act and deed for the use and purpose therein mentioned.

Witness my hand and office seal date aforesaid

[Signature]
(Notary Public)

AFFIDAVIT OF PUBLICATION

The MONTICELLO NEWS & JEFFERSON COUNTY JOURNAL published every Wednesday and Friday in the City of Monticello, County of Jefferson and State of Florida. Before me, the undersigned authority personally appeared, Lois Revels, who on oath says that she is a Bookkeeper for the Monticello News & Jefferson County Journal, both weekly newspapers, published in Monticello, Jefferson County, Florida by ECB Publishing; that the attached copy of the advertisement being a Legal Notice to appear in reference:

Notice of Application for Tax Deed 190

dates of August 2, 2013

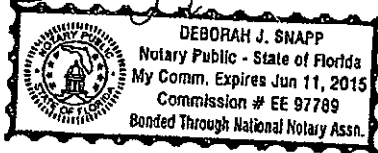
Affiant further says that the said Monticello News, and Jefferson County Journal, a newspaper published at Monticello, in Jefferson County, Florida, and that the said newspaper has heretofore been continuously published in said Jefferson County, Florida, each week and has been entered as second class mail matter at the post office in Monticello, in said Jefferson County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Signed by: Lois Revels

Sworn to and subscribed before me this day of

August 15 A.D. 2013

Notary Public



NOTICE OF APPLICATION FOR TAX DEED

NOTICE IS HEREBY GIVEN, that U.S.BANK the holder of the following certificate has filed said certificate for a tax deed.

The certificate number, year of issuance, description of the property and the names in which it was assessed are as follows:

Certificate Number: 190 Year of Issuance: 2010

Description of Property: 09-IN-3E-0004-0070-0000 4.9 ACRES
In South PT of NE 1/4
ORB 472 PG 520 thru 524 & ORB 492 PG 310 &
ORB 644 P 140-148 & ORB 664 P 374
Site Address: 13 Moody Road - Monticello, Florida

Name in which assessed: MILLS ESTATE ET AL

All of said property being in the County of Jefferson, State of Florida. This property when sold may be subject to the current year taxes.

Unless such certificate shall be redeemed according to law, the property described in such certificate will be sold to the highest bidder at the Jefferson County Courthouse, north door on the 22nd DAY OF AUGUST, 2013 at 11:00 a.m.

Dated this 10th DAY OF JULY, 2013.

Kirk B. Reams
Kirk B. Reams
Clerk of the Court
Jefferson County, Florida

8/2/13

CERTIFICATE OF NOTIFICATION

The following party was notified by certified mail return receipt, regular mail and service by the Sheriff's Department:

Nancy Jones
900 Bates Drive, Apt 19
Tallahassee, Florida 32301-6578
Mailed 04/18/2013
Certified mail card returned signed -- 04/20/2013
Leon County Sheriff Served 04/23/2013

Willa Lamb
72 Moody Road
Monticello, Florida 32344
Mailed 04/18/2013
Certified mail card returned unclaimed
Jefferson County Sheriff Non Served -- 5/6/2013

Billy J Wesley
P O Box 1434
Woodville, Florida 32362
Mailed 04/18/2013
Certified mail card returned unclaimed
Leon County Sheriff served 04/23/2013


Kirk B. Reams, Clerk of Court

RESOLUTION NO. _____

**A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS
OF JEFFERSON COUNTY, FLORIDA, RELATING TO THE
DISPOSITION OF SURPLUS LANDS; PROVIDING FINDINGS;
ADOPTING A SURPLUS LANDS POLICY; AND PROVIDING AN
EFFECTIVE DATE.**

WHEREAS, the Jefferson County Board of County Commissioners is the fee title holder to certain parcels of real property located in Jefferson County, Florida; and

WHEREAS, the Board of County Commissioners is in need of a process to periodically evaluate such real property to determine whether same should be declared as surplus such that real property owned by the County can be sold for a reasonable price, returned to productive private use, and added to the tax rolls; and

WHEREAS, adopting a policy which governs the County's disposition of parcels of real property determined to be surplus is in the best interest of the citizens of the County.

NOW THEREFORE, it is ADOPTED AND RESOLVED by the Board of County Commissioners of Jefferson County, Florida, as follows:

SECTION 1: The Board of County Commissioners hereby adopts the following policy regarding the disposition of surplus lands and real property:

The Board of County Commissioners is the fee title holder to certain parcels of real property located within the County. This policy shall govern the County's disposition of parcels of real property determined to be surplus.

(1) It is the policy of the Board of County Commissioners to sell or lease real property belonging to the County only if the real property has been identified as surplus as provided herein and the Board determines that such sale or conveyance is in the best interest of the County. Any such sale or lease shall be to the highest and best bidder for the particular use the County deems to be the highest and best or as to a lease of real property, for such length of term and upon such conditions as the Board may in its discretion determine to be appropriate.

(2) The County Coordinator, or designee, may periodically review County owned real property that is not currently being used by the County and which may be considered surplus property. A property shall not be considered surplus unless there is no known potential future County use. If such potential surplus property is identified, the following information on the property, to the extent known or readily ascertainable, shall be compiled and distributed to all County departments along with a request for comments.

- a. When the property was acquired by the County and the cost of the acquisition;
- b. The original reason for acquisition by the County;
- c. The site location and description including any improvements and zoning classification;
- d. The size of the property; and

- e. The current estimate of market value.

Based on the above review and comment, a list of parcels that may potentially be considered surplus may be compiled by the Coordinator and provided to the Board. The determination as to whether a particular parcel of real property is surplus shall be at the sole discretion of the Board of County Commissioners.

(3) A sale of real property determined to be surplus shall be made only after notice thereof is published once week for at least 2 consecutive weeks in a newspaper of general circulation in Jefferson County, calling for bids for the purchase of the real property so advertised to be sold. In the case of a sale, the bid of the highest bidder complying with the terms and conditions set forth in such notice shall be accepted, unless the Board rejects all bids because they are too low, or otherwise determines that the real property is not surplus. The Board may require a deposit to be made or a surety bond to be given, in such form or in such amount as the Board determines, with each bid submitted.

(4) Notwithstanding the above, when the Board finds that a parcel of real property is of insufficient size and shape to be issued a building permit for any type of development to be constructed on the property or when the Board finds that the value of a parcel of real property is \$15,000 or less, and when, due to the size, shape, location, and value of the parcel, it is determined by the Board that the parcel is of use only to one or more adjacent property owners, the Board may effect a sale of the parcel to an adjacent owner as provided herein. As to any such parcel the County shall send notice by certified mail of the availability of such parcel to the owners of adjacent property. After waiting at least 10 working days after receipt of the notice, the Board may sell the parcel without receiving bids or publishing notice. However, if, within 10 working days after receiving such mailed notice, two or more owners of adjacent property notify the Board in writing of their desire to purchase the parcel, the County Commission shall solicit and accept sealed bids for the parcel from such property owners and may convey such parcel to the highest bidder or may reject all offers.

(5) In the alternative to subsections (3) and (4) herein above, the Board may at any time (regardless of whether a parcel has been declared surplus) authorize a particular parcel of real property to be listed with a licensed real estate agency or to be posted with a real estate for sale sign in absence of such a listing.

(6) If the Board receives an offer on property not previously evaluated by the County Coordinator under subsection (2) herein above, the Board shall follow the same procedures as outlined herein, as applicable.

(7) Together with other procedures set forth more particular, together with applicable Florida Statutes, in this Policy.

SECTION 2: This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED by the Board of County Commissioners of Jefferson County, Florida, on this _____ day of October, 2019.

BY:

Chairman of the Board of Commissioners
for Jefferson County, Florida

ATTEST:

Clerk of the Board of County Commissioners
for Jefferson County, Florida

**BOARD OF COUNTY COMMISSIONERS
JEFFERSON COUNTY**

**DISPOSITION OF SURPLUS LANDS
(REAL PROPERTY) POLICY**

JEFFERSON COUNTY BOARD OF COUNTY COMMISSIONERS
Disposition of Surplus Real Property

TABLE OF CONTENTS

Section 1	Bid Sale or Lease.....	4
Section 2	Private Sale.....	5
Section 3	Competitive Negotiation.....	5
Section 4	Conveyance to Governmental Entity or Non-profit Organization.....	8
Section 5	Like Kind Exchange.....	9

The disposition of County owned property is governed by Chapter 125, Florida Statutes. The County Clerk of Court will be the custodian of the inventory of County owned properties.

These guidelines are provided to assist management and Board of County Commissioners when making decisions on the disposition of surplus lands.

Florida Statutes provide a number of alternative methods for the disposition of county surplus property. These include:

1. Bid sale or lease (Section 125.35(1), Florida Statutes
2. Private sale (Section 125.35(2), Florida Statutes);
3. Competitive negotiation (Section 125.35(3), Florida Statutes);
4. Conveyance to governmental entity or non-profit organization (Section 125.38, Florida Statutes);
5. Like kind exchange (Section 125.37, Florida Statutes); and

Determining Method of Surplus Lands Disposition

The county coordinator may provide prioritize list of disposition options with a preferred recommendation; however, the board has sole discretion to determine the method to be used in disposing of surplus property. This is considered a discretionary act of the board and is not subject to appeal.

The county may engage the services of a Florida licensed real estate broker or auctioneer to assist in the disposing of surplus property.

Determination as to estimated value of land.

The county coordinator will present to the board the estimated value of all property declared to be surplus pursuant to this article. This determination may be based upon the assessed value as set by the county property appraiser, or an appraisal prepared by an independent state certified real estate appraiser acceptable to the county coordinator. Determinations as to the estimated value of surplus land must consider and evaluate the following:

1. Configuration of the property;
2. Location;
3. Uplands/wetlands;
4. Environmental concerns;
5. Ability to develop the parcel in accordance with applicable regulations;
6. Current zoning on the parcel;
7. Highest and best use of the parcel; and
8. Encumbrances on title.

1) Bid Sale.

- a) Generally. The bid sale or lease process is controlled by the provisions of Section 125.35(1), Florida Statutes.
- b) *Request.* Any person may request a bid sale or lease of property by filing a written request with the county coordinator with board approval. The request must specifically identify the property and include a statement as to a bonafide intention to purchase, or to lease, the property.
- c) *Surplus determination.* If a person seeks to purchase or lease a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase or lease property already declared surplus by the board does not require additional board action until a purchase agreement or lease agreement is executed by the potential buyer and presented for board consideration.
- d) *Minimum bid determination.* The county coordinator will determine the estimated value of the surplus property as outlined in this policy and present this figure to the board for consideration in setting a minimum bid. The establishment of a minimum bid is a discretionary act of the board and is not subject to appeal.
- e) *Notice.* A notice calling for bids must be published in a newspaper of general circulation once a week for at least two weeks prior to board approval of any real estate purchase agreement resulting from the bid sale process. The notice must indicate identification and location of the subject property, where a bid package may be obtained, and the bid submittal deadline.
- f) *Bid acceptance.* All bids must comply with the county-approved bid specifications contained in bid package. Only bids meeting these specifications will be considered. Bids must be accompanied by the requisite deposit in the form of cashier's check, certified funds or a money order. Cash or personal checks will not be accepted.
- g) *Purchase agreement.* The board may enter into a real estate purchase agreement or for the sale or lease of the parcel with the highest acceptable bidder. However, the board has the right to reject any and all bids, at any time in the bid sale process, for any reason. Similarly, the board may cancel the sale.
- h) *Alternative disposition.* If the initial bid sale is not successful, the county coordinator may suggest to the board an alternative disposition method or suggest retaining the property in the surplus property inventory.

2) Private Sale.

- a) *Generally.* The private sale process is controlled by the provisions of Section 125.35(2), Florida Statutes. A private sale is appropriate only after the board determines that:
 - 1. The parcel of real property is of insufficient size and shape to be issued a building permit for any type of development to be constructed on the property; and the parcel is of use only to one or more adjacent property owners due to the size, shape, location and value of the parcel; or
 - 2. The value estimate of the parcel is \$15,000 or less, as determined by a fee appraiser designated by the board or by the county property appraiser, the parcel is of use only to one or more adjacent property owners due to the size, shape, location, and value of the parcel.
- b) *Request.* A person may request a private sale of property by submitting a written request to the county coordinator. The request must specifically identify the property and include a statement as to a bonafide intention to purchase the property. A private sale may also be recommended to the board by the county coordinator based upon the above (a) and, a review of the surplus property inventory.
- c) *Surplus determination.* If a person seeks to purchase a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase property already declared surplus by the board does not require additional board action until a purchase agreement is executed by the potential buyer and presented for board consideration.
- d) *Notice.* A written notice of the intent to sell the property under the private sale alternative must be sent to all adjacent property owners by certified mail. The notice must inform the property owners about the property for sale, how to submit an offer to purchase the parcel, the required time frame for submittal of an offer and what process will result if more than one property owner desires to purchase the parcel.
- e) *Multiple offers to purchase.* If two or more adjacent property owners notify the county of a desire to purchase the surplus parcel, then the county will solicit sealed bids from those property owners.
- f) *Purchase agreement.* The board may enter into a purchase agreement for the sale of the parcel with the highest acceptable bidder. However, the board has the right to reject any and all bids, at any time in the private sale process, for any reason, as well as cancelling the sale outright.

3) Competitive Negotiation.

- a) *Authority and scope.* This section is enacted under the authority of Section 125.35(3), Florida Statutes, to prescribe additional disposition standards and procedures to be used by the county in selling, conveying, or leasing real property owned by the county for a term in excess of one year. Leasing (or otherwise providing for the use of real property) for a term of one year or less is not governed by this section. Regardless of the length of

the term, concession agreements, license agreements, operating agreements, recreational facility use agreements or other agreements requiring the use of real property owned by the county but whose primary purpose is to provide services to the county or to the public are not governed by this article.

- b) *Standards.* The board may negotiate, approve and execute lease, sale, conveyance or other development agreements for real property owned by the county to be used by a private party in a manner directly benefiting the county or otherwise for a governmental or public purpose. In no event shall the uses permitted by any such lease, sale, conveyance or other development agreement violate the county's future land use, development code regulations or comprehensive plan.
- c) *Procedures.*
 - i) The following procedures shall apply to selected transactions relating to negotiated lease, sale, conveyance or other development agreements benefiting the county or otherwise for governmental or public purposes:
 - (1) The selection of private parties for lease, sale, conveyance or other development agreements shall result from an open competitive process. Examples of competitive solicitations that comply with the terms of this section include, but are not limited to, invitations to negotiate, requests for proposals and requests for letters of interest.
 - (2) Notice of each solicitation shall be published in a newspaper of general circulation in the county not less than ten calendar days prior to the date on which responses to the solicitation are due. The notice shall indicate how copies of the solicitation can be obtained or electronically accessed by interested parties and state the date and time responses will be opened.
 - (3) The county will have the right to require additional information and interview any, all or none of the respondents. The interview format and content will be at the county's discretion. The county will have the right to conduct site visits of the respondents' facilities and/or of any current project(s) managed by the respondents.
 - (4) Solicitation submittals will be reviewed and evaluated by the county to determine how the written responses and additional information address the county's needs and requirements, as stated in the solicitation. Evaluation criteria shall include, but not be limited to the following:
 - (a) The proposed use of the property, including such details as are required by the county coordinator and/or board;
 - (b) Respondent's ability to perform its obligations under the proposed lease, sale, conveyance or other development agreement;
 - (c) The financial obligations, if any, to be borne by the county;
 - (d) Respondent's past record of performance;
 - (e) Experience of the respondent and the respondent's team, if applicable; and
 - (f) Recent, current and projected workloads of the respondent and the respondent's team.
 - (g) Additional evaluation criteria may be included in each solicitation.

- (h) The county coordinator will present the proposed lease, sale, conveyance or other development agreement to the board for consideration. The board may approve or reject the proposed lease, sale, conveyance or other development agreement in its sole and absolute discretion.
- ii) Any public-private partnership agreement entered into prior to the effective date of this section, that resulted from a competitive process, may be subsequently amended to include a negotiated lease, sale, conveyance or other development agreement, without further solicitation, if the public purpose underlying such public-private partnership agreement is not affected thereby.
- d) *Request.* A competitive negotiation may also be requested by the county coordinator based upon a review of the declared surplus property inventory. Any person may request a competitive negotiation of property by submitting a written request to the county coordinator.
- e) *Surplus determination.* If a person seeks to purchase or lease a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase or lease property already declared surplus by the board does not require additional board action until a purchase agreement is executed by the potential buyer and presented for board consideration.
- f) *Notice.*
 - i) Types of notice. Once the parcel has been properly designated surplus, notice of the availability and potential sale, conveying or lease of the parcel will be provided through and at least two of the following means:
 - (1) County Website;
 - (2) Sign on the parcel;
 - (3) Posted notice in the Courthouse;
 - (4) Mailed notice to adjacent property owners;
 - (5) Notice to names on the surplus lands mailing list;
 - (6) Newspaper advertisement at least two weeks in advanced.
 - (7) Electronic media notice or advertisement.
 - ii) Notice period/deadline for submittal of responses to a solicitation. The deadline for submittal of responses will be a minimum of 30 days from the date the notice of availability for sale, conveyance or lease is first published. For purposes of calculating the deadline date, the first day of publication will not be counted; a deadline date falling on a weekend or holiday will be moved forward to the next regular business day.
- g) *Negotiation.* The county coordinator will attempt to negotiate a purchase agreement or lease agreement with the selected respondent. All aspects of the real estate negotiation process are open for discussion, including an increase in the bid or sale price, or rent, of the property. The negotiation period will be established in the solicitation documents. If the county is unable to successfully negotiate a purchase agreement or lease agreement with the selected respondent within the negotiation period, then the county may cease

negotiations with the selected respondent and proceed to negotiations with another respondent, if any.

- h) *Purchase agreement or lease agreement.* Once a purchase agreement or lease agreement has been successfully negotiated, the agreement will be sent to the board for consideration and approval. The date the item will appear on the board agenda will be available on the county website. The board has the right to reject any and all purchase agreements or leases, at any time in the competitive negotiation process, for any reason.

4) Conveyance to governmental entity or non-profit organization (Section 125.38, Florida Statutes)

- a) *Generally.* The conveyance to governmental entity or non-profit organization is controlled by the provisions of Section 125.38, Florida Statutes.
- b) *Request.* The United States, or any department or agency thereof, the state or any subdivision or agency thereof, or any municipality of this state, or corporation or other organization not for profit Any person may request conveyance or lease of property by filing a written request with the county coordinator. The request must specifically identify the property and include a statement as to a bonafide intention to purchase, convey or to lease, the property for the purposes of promoting community interest and welfare.
- c) *Surplus determination.* If a person seeks to purchase or lease a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase or lease property already declared surplus by the board does not require additional board action until a purchase agreement or lease agreement is executed by the potential buyer and presented for board consideration.
- d) *Notice.* The fact of such application being made, the purpose for which such property is to be used, and the price or rent therefore shall be set out in a resolution duly adopted by such board. In case of a lease, the term of such lease shall be recited in such resolution. No advertisement shall be required.
- e) *Minimum offer determination.* The county coordinator will determine the estimated value of the surplus property as outlined in this policy and present this figure to the board for consideration in setting a minimum offer. The establishment of a minimum bid is a discretionary act of the board and is not subject to appeal.
- f) *Multiple offers to purchase, convey or lease.* If two or more governmental entity and/or non-profit organizations notify the county of a desire to purchase or lease the surplus parcel, then the county will evaluate each entity's organize purposes of promoting community interest and welfare and choose which will be most beneficial to the citizens. This decision is a discretionary act of the Board. It is not subject to appeal.
- g) *Purchase agreement.* The agreement should include a clause that if the entity fails to utilize the property for the approved purpose of promoting community interest and welfare for more than two consecutive calendar years, it be gifted back to the County.

5) Like kind exchange

- a) *Generally.* Like kind exchange is controlled by the provisions of Section 125.37, Florida Statutes.
- b) *Request.* The County Coordinator or individual board member may ask the board to consider an exchange of property not needed for county purposes be exchanged for other real property, which the county may desire to acquire for county purposes via written notice.
- c) *Surplus determination.* If a person seeks to purchase a parcel not currently in the surplus property inventory, then a recommendation as to the appropriateness of declaring the parcel surplus may be sent to the board in accordance with subsection (a), above. If the board declares the parcel surplus, then the request can proceed through the disposition process. A request to purchase property already declared surplus by the board does not require additional board action until a purchase agreement is executed by the potential buyer and presented for board consideration.
- d) *Notice.* A written notice setting forth the terms and conditions of any such exchange of property, shall be first published, once a week for at least 2 weeks in a newspaper of general circulation published in the county, before the adoption by the board of a resolution authorizing the exchange or properties.
- e) *Agreement of Exchange.* The board must adopt a resolution authorizing the exchange of properties and complete the exchange in accordance of customary real estate practices.

Note: See Jefferson County Capital Asset Policy when dealing with Tangible Personal Property.